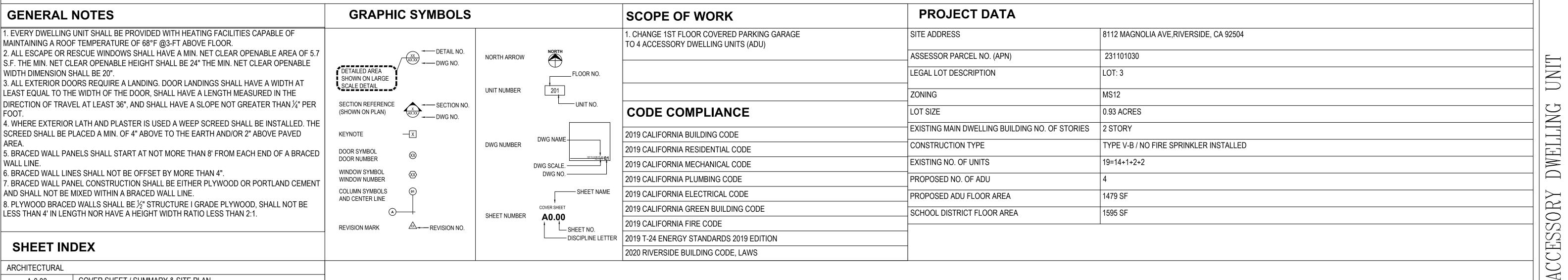
ADDITION FOUR ACCESSORY DWELLING UNITS (ADU) AT EXISTING COVERED PARKING GARAGE

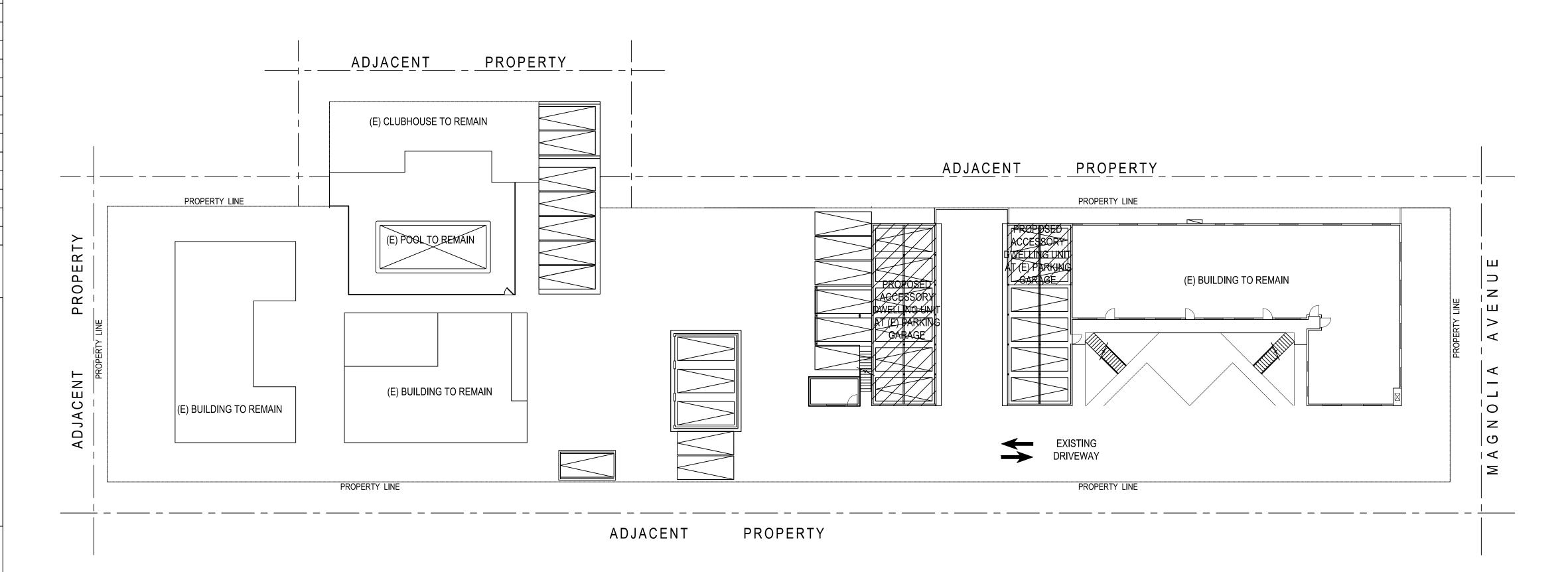
8112 MAGNOLIA AVE, RIVERSIDE, CA 92504



COVER SHEET / SUMMARY & SITE PLAN ARCHITECTURAL GENERAL NOTES A-1.02 **GREEN BUILDING FORMS** EXISTING SITE PLAN, SECOND & ROOF PLAN PROPOSED GROUND FLOOR PLAN EXISTING ADU ELEVATIONS A-2.22 EXISTING ADU ELEVATIONS EXISTING & PROPOSED ADU ELEVATIONS PROPOSED ADU SECTION ARCHITECTURAL DETAILS T-24-1~T-24-2 T-24 ENERGY ANALYSIS MECHANICAL PLAN E-1~E-2 ELECTRICAL PLAN PLUMBING PLAN STRUCTURAL

VICINITY MAP





CPTIMUM SHISMIC

SANTA FE AVENUE, VERNON , CA 90058

TEL: (323) 605-0000 FAX: (323) 605-0309

REVISIONS

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GENERAL REQUIREMENTS:

- 1. WORK PERFORMED SHALL COMPLY WITH FOLLOWING: a. THESE GENERAL NOTICE UNLESS OTHERWISE NOTED ON PLANS OR **SPECIFICATIONS**
- b. ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS.
- 2. ON SITE VERIFICATION OF ALL DIMENTIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL AND SUB-CONTRACTORS. NOTED DIMENTIONS TAKE PRACEDENT OVER SCALES. BUILDING DESIGNER TO BE NOTIFIED IMMEDIATELY BY CONTRACTOR SHOULD ANY DISCREPANCY OR OTHER QUESTION ARISE PERTAINING TO THE WORKING DRAWING BEFORE PROCEEDING WITH THE WORK.
- 3. THE DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE INDICATED, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR: A. ALL CONTRACT DOCUMENTS, GENERAL NOTES, AND ALL ATTACHED
- OR REFERENCED REPORTS. OMISSIONS AND/OR CONFLICTS BETWEEN THE VARIOUS ELEMENT OF THE CONTRACT DOCUMENTS.
- B. ALL DIMENTIONS AND CONDITIONS AT THE SITE. C. ANY CONDITION WHICH IN HIS OPINION MIGHT ENDANGER THE STABILITY OF THE STRUCTURE.
- D. VERIFY LOCATION AND DEACTIVE ALL UTILITIES IN AREAS BEFORE PROCEEDING WITH WORK THAT WILL INTERFERE WITH BUILDING, SEND PROPER NOTICES, MAKE ALL NECESSARY ARRANGEMENTS AND PERFORM ALL SERVICES REQUIRED IN CARE AND MAINTENANCE OF ALL PUBLIC UTILITIES
- E. ENSURING PROPER ALIGNMENT, TEMPORARY BRACING AND SHORING TO PROVIDE STRUCTURAL STABILITY OF THE STRUCTURE DURING CONSTRACTION.
- F. SECURE MISCELLANEOUS SUB-CONTRACTS AS REQUIRED FOR COMPLETION OF THE JOB.
- G. SECURING FINAL CERTIFICATE OF OCCUPANCY.
- H. KEEP THE PREMISES FREE FROM THE ACCUMULATION OF ALL WASTE MATERIALS AND RUBBISH CAUSED BY OPERATION AT ALL
- I. THE PREMISES AND ALL FINISHED SURFACES MUST BE CLEANED AND READY FOR OCCUPANCY UPON COMPLETION OF WORKS.
- 4. ALTERNATIVE TO MATERIALS, EQUIPMENTS, PRODUCTS AND CONSTRUCTION DETAILS OTHER THAN THOSE SHOWN ON THE DRAWINGS OR SPECIFICATIONS MAY BE CONSIDERED FOR USE, PROVIDED WRITTEN APPROVAL SHALL BE OBTAINED FROM THE DESIGNER AND THE LOCAL DEPARTMENT OF BUILDING AND
- ALL WORKS SHALL BE GURANTEED IN WRITING FOR A PERIOD OF ONE YEAR BY GENERAL CONTRACTOR FROM NOTICE OF SUBSTANTIAL COMPLETION OF THE BUILDING; SEPARATE ONE YEAR GURANTEES FOR ELECTRICAL, PLUMBING AND H.V.A.C. SUB-CONTRACTS SHALL BE PROVIDED BY SUB-CONTRACTORS. ROOFING, ROOF FLASHING AND SHEET METAL WORKS SHALL BE GURANTEED FOR A PERIOD OF TWO YEARS; AIR CONDITIONING COMPRESSORS SHALL BE GURANTEEDFOR FIVE YEARS. COPIES OF ALL GURANTEES SHALL BE SUBMITTED TO THE OWNER AT THE FINAL INSPECTIONS. GENERAL CONTRACTOR TO PROVIDE LIST OF SUB-CONTRACTORS AND VANDORS WITH PHONE NUMBERS AND EACH WARANTY, PERIOD LENGTH AND STARTING DATE. ALL ITEMS LISTED ARE PREQUISITE TO RETENTION PAYMENTS.
- 6. ALL WORKS SHALL CONFORM TO THE REQUIREMENTS OF ALL REGULATING AGENCIES EXERCISING AUTHORITY OVER ANY PORTION OF THE WORK. I.E., STATE OF CALIFORNIA, DIVISION OF INDUSTRIAL SAFETY AND CAL/OSHA, ETC., AND CONFORM TO THE BEST PRACTICE PREVAILING IN THE VARIOUS TRADES COMPRISING THE WORK, ASTM DESIGNATIONS SHALL BE AMMENDED TO DATE.
- 7. ALL FOOTINGS SHALL REST ON FIRM, NATURAL SOIL OR APPROVED COMPACTED FILL.
- 8. CONTRACTORSHALL PROVIDE TEMPORARY SHORING FOR EXCAVATION THET REMOVES THE LATERAL SUPPORT FROM AN EXISTING BUILDING.
- 9. UNDERPINING OF EXISTING STRUCTURE SHALL BE PERFORMED IN CONJUCTION WITH OTHER WORKS ON THE PROJECT IN A MANNER THAT WILL NOT ENDANGER THE SAFETY OF THE STRUCTURES BEING SUPPORTED.
- 10. CONTRACTOR SHALL PROVIDE TEMPORARY ERECTION BRACINGS AND SHORING AS REQUIRED FOR STRUCTURAL STABILITY OF THE STRUCTURE DURING CONSTRUCTION.
- 11. NO TRENCHS OR EXCAVATIONS OVER 5'-0" IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND SHALL BE CONSTRUCTED WITHOUT A PERMIT FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY.

12. THE EXISTING FILL, PEATY SOILS, AND ANY OTHER DELETERIOUS SUBSTANCES SHALL BE TOTALLY REMOVED FROM BUILDING AREA. THE FILL REMOVAL AND RECOMPACTION SHALL EXTEND BEYOND THE BUILDING LINES A DISTANCE EQUALING THE DEPTH OF THE COMPACTED FILL BELOW THE EXTERIOR

FOOTINGS. THE EXISTING FILL ON SITE SHALL BE INSPECTED AND

THERMAL AND MOISTURE PROTECTION

APPROVED BY A SOIL ENGINEER BEFORE USE.

- 1. ALL SHEET METAL TO BE 26 GA. GALVNIZED IRON UNLESS NOTICE
- 2. FLASH AND COUNTERFLASH AT ALL ROOF-TO-WALL CONSITIONS. 3. G. I. FLASH AND CAULK WOOD BEAMS, OUTLOOKERS PROJECTING
- FROM EXTERIOR WALLS OR ROOF SURFACES. 4. FLASH ALL EXTERIOR OPENINGS WITH APPROVED WATERPROOF BUILDING PAPER TO EXTEND AT LEAST 3" UNDER THE BUILDING PAPER BEHIND THE WALL COVERING.
- 5. ALL RANGE VENTS TO BE EXHAUSTED TO OUT SIDE AIR THROUGH ROOF OR WALL
- 6. ALL VENTS AND DUCTS PENETRAINING THE ROOF SHALL EXTEND A MINIMUM OF 8" ABOVE THE ROOF SURFACE.
- 7. PROVIDE FLASHING AT THE TOP OF ALL PARAPETS AND WALLS, UNLESS NOTICE OTHERWISE.
- 8. PROVIDE EXHAUST DUCTS AS REQUIRED FOR RANGE HOOD AND/OR VENTILATION FANS.

ENERGY INSULATION REQUIREMENTS:

- ALL EXTERIOR WALLS SHALL BE INSULATED WITH BLANKET TYPE MINERAL FIBER OR GLASS FIBER INSULATION CONFORMING TO FEDERAL SPECIFICATION WITH A THERMAL RESISTANCE (R) OF NOT LESS THAN 15.
- 2. ALL ROOF-CEILING ASSEMBLIES SHALL BE INSULATED WITH BLANKET TYPE MINERAL OR GLASS FIBER INSULATION CONFORMING TO FEDERAL SPECIFICATION WITH A THERMAL RESISTANCE (R) OF NOT LESS THAN 38.
- 3. ALL FLOOR-CEILING ASSEMBLIES OVER UNINSULATED SPACES SHALL BE INSULATED WITH BLANKET TYPE MINERAL OR GLASS FIBER INSULATION CONFORMING TO FEDERAL SPECIFICATION WITH A THERMAL RESISTANCE (R) OF NOT LESS THAN 19.
- 4. ALL HEATING/COOLING DUCTS LOCATED OUTSIDE THE BUILDING ENERGY ENVELOPE SHALL HAVE ALL JOINTS AND SEAMS SEALED AND SHALL BE INSULATED WITH A MINIMUM OF 1" THICK FIBEROUS INSULATION.
- 5. MINERAL FIBER INSULATION SHALL BE INSTALLED IN JOIST SPACES WHENEVER A PLUMBING PIPE OR DUCT PENETRATES A FLOOR-CEILING ASSEMBLIES FROM/WITHIN A WALL. THE INSULATION SHALL LBE INSTALLED TO A POINT 12" BEYOND THE PIPE OR DUCT.
- 6. BOTH THE BUILDER AND THE INSULATION APPLICATOR SHALL EXECUTE A CARD TO VERIFY THAT THE INSULATION HAS BEEN INSTALLED IN CONFORMANCE WITH ARTICLE 5, SUBCHAPTER 1, TITLE 25 OF THE CALIFORNIA ADMINISTRATIVE CODE UPON COMPLETION OF INSULATION INSTALLATION. THE CARD MUST
- BE POSTED IN A CONSPICUOUS LOCATION WITHIN THE BUILDING. 7. REFER TO CF-1R FOR ALL GLAZING AT WINDOWS, GLASS DOORS, SKYLIGHTS AND SHADING DEVICES AS REQUIRED BY ENERGY CALCULATIONS.
- 8. ALL INTERIOR WALLS SHALL BE 5/8" GYPSUM BOARD EACH SIDE, FOR NAILING REFER TO SHEET S-1.
- 9. INSPECTION IS REQUIRED PRIOR TO TAPING AND FINISHING (ALL JOISTS) WALLBOARDS.
- 10. INSPECTION IS REQUIRED FOR ALL INTERIOR AND EXTERIOR IN-PLACE LATH AND WALLBOARDS BEFORE ANY PLASTERING IS APPLIED. 11. PROVIDE 26 GAUGE GALVANIZED FROM FOUNDATION WEEP SCREED ON ALL STUCCO WALLS AT INTERSECTION OF MUDSILL AND
- CONCRETE. 12. STUCCO FINISH TO USE 7/8" PORTLAND CEMENT PLASTER WITH WOVEN OR WELDED WIRE LATH WITH NO. 11 GUAGE 1-1/2" LONG WITH 7/16 O HEAD NAIL OR 16-GUAGE STAPLES X 7/8" LONG LEGS AT 16" O.C. ATTACHED TO TOP PLATES AND SILL. PROVIDE 3.4 METAL LATH
- 13. SECOND FLOOR TO RECEIVE 3/4" COVERING (OVER 5/8" PLYWOOD SHEATHING) OF GYP-CRETE OR 1-1/2" LIGHTWEIGHT CONCRETE, PER ARCHITECTURAL DETAILS.

AND BACKING AT ALL SOFFITS.

- 14. ALL INSULATION MATERIALS SHALL BE CERTIFIED BY MANUFACTURE AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATED MATERIALS.
- 15. MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LEBELED IN COMPLIANCE WITH THE APPROPRIATE INFILTRATION STANDARDS.
- 16. CAULK AND SEAL AROUND ALL WINDOS/DPPRS FRAMES, BETWEEN WALL SOLE PLATES AND FLOOR BETWEEN EXTERIOR WALL PANELS.
- 17. CAULK ALL PLIMBING AND ELECTRICAL PENETRATIONS INTO BUILDING ENVELOPE.
- 18. GAS FIRED HEATING/COOLING APPLIANCES AND FAUCETS TO COMPLY WITH EFFICIENCY STANDARDS.
- 19. GENERAL LIGHTING IN KITCHEN AND BATHROOMS SHALL HAVE EFFICIENCY OF 25 LUMENS/WATTS.
- 20. ALL FAN SYSTEMS EXHAUSTING AIR FROM THE BUILDING SHALL BE PROVIDED WITH BACK DRAFTDAMPERS.
- 21. REQUIRED TINTED GLAZING SHALL BE PERMANENTLY TINTED OR SURFACE COATED BY MANUFACTURE OF THE GLAZING MATERIAL AND SHALL PROVIDE A MAXIMUM TINTING COEFFICIENT OF 0.75.

SECURITY NOTES FOR WINDOWS AND DOORS:

- 1. ALL GLASS AND GLAZING SHALL COMPLY WITH APPLICABLE CODES AND MUST BE LABELED SAFETY GLAZING FOR IMPACT.
- 2. ALL GLASS LESS THAN 18" ABOVE ADJECENT WALKING SURFACE SHALL BE TEMPERED.
- 3. ALL SECURITY OPENINGS SHALL COMPLY THE FOLLOWING NOTES: a. DOORSTOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBET TO THE
 - b. ALL PIN TYPE HINGES WITCH ARE ACCESSIBLE FROM OUTSIDE THE SECURED AREA WHEN THE DOOR IS CLOSED SHALL HAVE NON-REMOVEABLE HINGE PINS; IN ADDITION, THEY SHALL HAVE MINIMUM 1/4" DIAMETER STEEL JAMB STUD WITH 1/4" MINIMUM PROJECTION UNLESS THE HINGES ARE SHAPES TO PREVENT REMOVAL OF THE DOOR IF THE HINGE PINS ARE REMOVED.
 - c. THE STRIKE PLATE FOR LATCHES AND THE HOLDING DEVICES FOR PROJECTING DEADBOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NOT LESS THAN 2-1/2" IN LENGTH
 - d. DEADBOLTS SHALL CONTAIN HARDENED INSERTS.
 - e. STRAIGHT DEADBOLTS SHALL HAVE A MINIMUM THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8".
 - f. A HOOK-SHAPED OR AN EXPANDING LUG DEADBOLT AHALL HAVE A MINIMUM THROW OF 3/4".
- WOOD FLUSH TYPE DOORS SHALL BE 1-3/8" THICK MINIMUM

SOLID CORE CONSTRUCTION.

- h. HOLLOW CORE DOORS OR FOORS LESS THAN 1-3/8" THICK SHALL BE COVERED ON THE INSIDE FACE WITH 26 GAUGE SHEET METAL ATTACHED WITH SCREWS AT 6" O. C. AROUND THE PERIMETER OR EQUIVALENT.
- GLASS DOORS SHALL HAVE FULLY TEMPERED GLASS COMPLYING WITH UP DATED BUILDING CODE OF THE LOS ANGELES COUNTY. EXTERIOR DOORS. DOORS BETWEEN HOUSE AND GARAGE, WINDOWS AND THEIR HARDWARES SHALL CONFORM TO THE
- SECURITY PROVISIONS OF BUILDING CODE k. A SINGLE SWINGING DOOR, ACTIVE LEAF OF A PAIR OF DOORS AND THE BOTTOM LEAF OF DUTCH DOORS SHALL BE EQUIPPED WITH A DEADBOLT AND A DEAD LOCKING LATCH, BOTH BY OPERATED FROM OUTSIDE, DEADBOLT SHALL HAVE A HARDENED INSERT, 1" MINIMUM THROW AND 3/8" MINIMUM EMBEDMENT INTO
- I. PROVIDE DOOR VIEWERS, VIEW PORTS OR VIEWING WINDOWS AT ALL DWELLING OR GUEST ROOM ENTRANCES, SUCH WINDOWS OR PORTS SHALL BE CONSTRUCTED IN COMPLIANCE WITH SECURIT PROVISION OF BUILDING CODE.
- CYLINDER GUARDS SHALL BE INSTALLED ON ALL CULINDER LOCKS WHENEVER THE CULINDER PROJECTS BYOND THE FACE OF THE DOOR OR/IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS.
- 5. SLIDING GLASS DOORS AND WINDOWS SHALL BE EQUIPPED WITH LICKING DEVICES AND SHALL BE CONSTRUCTED AND INSTALLED SO THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS.
- 6. SLIDING DOORS AND WINDOWS SHALL BE PROVIDED WITH A LOCKING DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION.
- OTHER OPENABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES.
- 8. SCREENS, BARRICADES, OR FENCES MADE OF MATERIAL WHICH PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF. BALCONY. OR SIMILAR SURFACE WICH IS WITHIN 8" OF UTILITY POLE OR SIMILAR STRUCTURE.
- 9. WHEN THE DOOE THAT HAS GLAZED OPENING WITHIN 40" OF THE DOOR LOXK IS IN THE CLISED POSITION SHALL BE FULLY TEMPERED GLASS, OR APPROVED BURGLARY RESISTANT MATERIAL. OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS WHICH HAVING A MAXIMUM OPENING OF 2". THIS OPENING SHALL NOT APPLY TO VIEW PORTS OR WINDOWS THAT DO NOT EXCEED 2" IN THEIR GREATEST DIMENTIONS.
- 10. LOCKS SHALL OPEN FROM INTERIOR WITHOUT USING A KEY, SPECIAL KNOWLEDGE OR SPECIAL EFFORTS.
- 11. GARAGE DOORS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES SUCH AS GUIDE BARS, BOLTS. CROSS BARS, AND/OR PADLOCKS WITH MINIMUM 9/32" HARDENED STEEL SHACKLES AND HARFENED, BOLTED STEEL HASPS.
- 12. PROVIDE APPROVED GARAGE DOOR SPRINGS AND ANCHORAGE. GARAGE DOOR SPRINGS AND CONTAINMENT DEVICES SHALL BE LABELED.

FINISHES:

- DRYWALL NAILING SHALL BE ACCORDING TO APPLICABLE BUILDING CODE REQUIREMENTS FOR THE TYPES AND THICKNESS BEING USED.
- 2. ALL DRYWALL APPLICATIONS TO BE INSPECTED AND APPROVED
- DRYWALL TO BE "U.S. GYPSUM" SHEETROCK OR EQUAL 4. ALL DRYWALL TO BE INSTALLED IN ACCOTDANCE WITH
- MANUFACTURE RECOMMENDATIONS.
- 1-HOUR FIRE RESISTANT WALLS TO HAVE 5/8" SHEETROCK TYPE "X". ALL TILES MUST BE SET WITH FIRST CLASS TILE SETTER.
- ALL TILES SHALL BE FIRMLY SECURED IN PLACE WITH FILLED JOINTS AT LEAST 1/16" WIDE.
- 8. LINES SHALL BE KEPT STRAIFHT AND TRUE, AND ALL FINISH SURFACES BROUGHT TO LEVEL PLANES.
- 9. TILE WORKS SHALL BE "CERAMIC TILE" (AS SELECTED BY DESIGNER OR OWNER) AND CEMENT MORTAR PER SPECIFICATIONS OF "CERAMIC TILE INSTITUTE".
- 10. REFER TO FINISH SCHEDULE FOR LOCATION OF TILE WORKS. 11. ALL PAINT SHALL BE "DUNN EDWARDS" OR EQUAL, READY MIXED
- 12. PAINTING CONTRACTOR SHALL APPROVE CONDITIONS OF PLASTER, ANY SURFACES PAINTED AND TO SEAL ALL SURFACES.
- 13. ALL COLORS TO BE SELECTED BY DESIGNER AND/OR APPROVED BY
- 14. PROTECT ALL ADJACENT SURFACES AGAINST PAINT SPATTERING.
- 15. PAINT-GRADE DOORS SHALL RECEIVE 2-COATS ENAMEL. 16. INTERIOR WOODWORKS TO RECEIVE 2-COATS ENAMEL, IF NOT STAINED.
- 17. ALL BUILT-IN CABINETS SHALL RECEIVE 3-COATS ENAMEL, IF NOT STAINED.
- 18. EXTERIOR WOODWORKS TO RECEIVE 3-COATS EXTERIOR PAINT EXCEPT FOR NATURAL FINISH
- 19. ALUMINUM SASH SHALL NOT BE PAINTED. 20. PUTTY ALL NAIL HOLES AFTER FIRST COAT.
- 21. EXTERIOR STUCCO OR PLASTER SHALL HAVE COLOR COAT FINISHS AS SELECTED BY DESIGNER AND/OR APPROVED BY OWNER.
- 22. REMOVE ALL PAINT SPOTS, LEAVE IN A CLEAN AND ACCEPTABLE MANNER. READY FOR OCCUPANCY.
- 23. PAINTER TO SUBMIT A COLOR SAMPLE OF AREA TO BE PAINTED FOR DESIGNER OR OWNER'S APPROVAL.
- 24. PAINTER SHOULD RETURN AFTER ALL TRADES HAVE COMPLETED WORKS AND TOUCH-UP ALL PAINTED AREAS AS REQUIRED.
- 25. ALL CABINETS (DESIGN, TYPE AND FINISH) SHALL BE SELECTED BY THE OWNER OR DESIGNER.
- 26. ALL DRAWERS TO HAVE METAL GUIDES UNLESS APPROVED OR REQUESTED BY OWNER. 27. SUB-CONTRACTORS TO VERIFY DIMENSIONS OF ALL BUILT-IN
- EQUIPMENT PRIOR TO INSTALLATION, ALL WORKS TO HAVE A MINIMUM OF FACE NAILS-GLUE ALL STILES. 28. ALL SHELVES, POLES AND ATTIC ACCESS (AND LADDER WHERE OCCURS) TO BE SUPPLIED AND INSTALLED BY CABINET
- CONTRACTOR. 29. PROVIDE MINIMUM 30" CLEARANCE ABOVE RANGE TO UNPROTECTED COMBUSTABLE MATERIAL OR 24" CLEARANCE ABOVE RANGE OR TO OPEN BROILER WHEN METAL
- VENTILATION HOOD. 30. MODEL FOR ALL APPLIANCES TO BE SELECTED BY OWNER.

ELECTRICAL:

- 1. PLUMBERS AND ELECTRICIANS SHALL CHECK STRUCTURAL PLANS FOR ALL DUCTS, SLEEVES, ETC. INTERFERING WITH STRUCTURAL MEMBERS. IF ANY INTERFERENCE OCCURS. DESIGNER SHOULD BE
- NOTIFIED IMMEDIATELY. 2. PROVIDE APPROVED SMOKE DETECTOR WIRED TO ELECTRICAL SYSTEM WHERE APPLICABLE.
- 3. ALL EQUIPMENTS AND INSTALLATIONS SHALL BE DONE IN ACCORDANCE WITH THE UP-DATED U.E.C.
- 4. ELECTRICAL WORKS SHALL CONFORM TO UTILITY COMPANY REQUIREMENTS, ALL MATERIALS SHALL BE UL APPROVED.
- 5. ELECTRICAL SUB-CONTRACTOR SHALL PROPOSE LOCATIONS OF METERS, MAINS AND RECEIVING POLE AND OBTAIN OWNER'S APPROVAL FOR ITS LOCATION WHERE APPLICABLE.
- 6. CONTRACTOR SHALL FURNISH AND INSTALL CONDUITS TO TELEPHONE, EQUIPMENT SPACE IN METER AREAS AND INSTALL TELPHONE OUTLETS AS SHOWN ON PLANS OR ARCHITECTURAL FLOOR PLANS.
- SYSTEM TO BE GROUNDED. 8. SEPARATE CIRCUITS FOR GARBAGE DISPOSAL, WASHING MACHINE, DRYER AND AIR CONDITIONER.
- 9. SWITCHES TO BE 42" ABOVE THE FLOOR, UNLESS OTHERWISE NOTED ON PLANS.
- 10. DUPLEX RECEPTACLES TO BE SPACED AT 12'-0" MAXIMUM ALONG WALL AND ANY USABLE WALL SPACE 30" OR MORE IN WIDTH.
- 11. ELECTRICAL SUB-PANEL TO SURFACE OR FLUSH MOUNTED AS SHOWN, OF CODE GAUGE STEEL AND SHALL BEAR UNDERWRITER'S LABEL, PANEL TO HAVE SUFFICIENT SINGLE PHASE 20 AMP CIRDUIT BREAKERS FOR LIGHTING AND POWER AND A MULTI-POLE CIRCUIT BREAKER FOR AC UNIT.
- 12. ELECTRICIAN TO SUPPLY ALL KEYLESS FIXTURES, BATH FANS, FLUSH LIGHTS AND TV PREWIRE.

MECHANICAL & PLUMBING:

- FRESH AIR COMBUSTION IN GAS BURNING APPLIANCES SHALL BE MINIMUM 100 SQ. INCHES FOR EACH APPLIANCE WITH A RATING NOT EXCEEDING 100,000 BTU INPUT. PLUS AN ADDITIONAL ONE SQUARE INCH FOR EACH 1,000 BTU IN EXCESS OF 100,000.
- EQUIPMENT SHALL BE BEAR A PERMENT AND LEGIBLE NAMEPLATE ON WHICH SHALL APPEAR; THE MANUFACTURE'S NAME AND RATING OF THE APPLIANCE: A MODEL DESIGNATION: INSTRUCTIONS FOR THE OPERATION OF THE APPLIANCE, A SEAL OF APPROVAL OF THE APPLIANCE BY AN APPROVED TESTING LABORATORY.
- 3. EACH UNIT SHALL BEAR A METAL PLATE SECURELY FIXED TO THE APPLIANCE AND READILY ACCESSIBLE FOR INSPECTION, LEGIBLE TO IDENTIFY THE NAME AND ADDRESS OF THE INSTALLER, IF OTHER THAN THE OWNER.
- 4. ALL HEATING APPLIANCES SHALL BE CONNECTED TO A VENT
- COMPLYING WITH UP-DATED U.M.C. 5. VENTS AND DUCTS PENETRATING THE ROOF SHALL EXTEND A MINIMUM OF 8" ABOVE THE ROOF SURFACE.
- 6. CHECK THE FRAMING FOR ALL DUCTS, ETC. INTERFERRING WITH STRUCTURE MEMBERS.
- 7. INSTALL, CONNECT. AND INSPECT FORCED AIR UNIT WITH DUCTS AND VENTS (AND CONDENSER UNIT ON A PLATFORM OPTION) PER MANUFACTURE'S SPECIFICATIONS.
- 8. THE AIR CIRCULATION SYSTEM SHALL INCOPORATE AN AIR FILTRATION SYSTEM.
- 9. ALL HEATING AND COOLING DUCTS LOCATED OUTSIDE THE BUILDING ENERGY ENVELOPE SHALL HAVE ALL JOINTS AND SEAMS SEALED. BE INSULATED WITH A MINIMUM OF 1"
- THICK (0.6 LBS/CU. FT.) FIBEROUS INSULATION 10. HEATING AND AIR CONDITIONING CONTRACTOR TO INSTALL THERMOSTAT FOR HVAC SYSTEM USING THERMOSTAT WIRE PRE-INSTALLED BY ELECTRICIAN
- 11. NO PIPES, CONDUITE OR DUCTS SHALL BE EMBEDDED INTO STRUCTURAL MEMBERS OR FOOTINGS UNLESS SO SHOWN ON THE PLANS OR APPROVED BY ENGINEER.
- 12. ALL PLUMBING VENTS SHALL GO THROUGH ROOF WITH A MINIMUM OF 10'-0" FROM ANY PROPERTY LINE. 13. MINERAL FIBER INSULATION SHALL BE INSTALLED IN JOIST SPACES WHENEVER A PLUMBING PIPE OR DUCT PENETRATES A FLOOR-CEILING
- ASSEMBLIES OR WHERE SUCH A UNIT PASSED THROUGH THE PLANE OF THE FLOOR-CEILING ASSEMBLIES FROM WITHIN A WALL. THE INSULATION SHALL BE INSTALLED TO A POINT 12" BEYOND THE PIPE OR DUCTS.
- 14. WATER HEATERS OVER 4'-0" IN HEIGHT FROM BASE TO TOP OF TANK CASE SHALL HAVE RIGID WATER CONNECTIONS. WATER HEATERS WITH NON-RIGID CONNECTIONS SHALL BE STRAPPED FOR LATERAL
- 15. NO TUB ACCESS PANEL SHALL BE REQUIRED. PROVIDE RIGID JOINT CONNECTIONS FOR ALL BATH TUBS AND SHOWER UNITS WHERE APPLICABLE.
- 16. ALL STEAM AND STEAM CONDENSATE RETURN PIPUNG AND ALL CONTINUOUSLY CIRCULATING DOMESTIC OR HEATING HOT PIPING SHALL BE INSULATED AD REQUIRED BY THE PLUMBING DIVISION. 17. ALL GAS APPLIANCES. EXCEPT WATER HEATERS AND RANGE TOP
- INTERMITTENT IGNITION DEVICES.

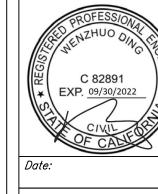
BURNERS. SHALL BE EQUIPPED WITH

18. PROVIDE BACK DRAFT DAMPERS ON ALL EXHAUST FAN SYSTEM. 19. FIRE PROTECTION (WHERE APPLICABLE): a. PROVIDE PORTABLE FIRE EXTINGUISHERS WITH A RATING OF NOT LESS THAN 2A 10 BC FOR BUILDING AREA AND 5 BC FOR

DARKING AREA, AS REQUIRED BY FIRE DEPARTMENT FIELD

- INSPECTOR. b. CONTRACTOR SHALL PROVIDE PORTABLE EXTINGUISHERS WITH A RATING OF NOT LESS THAN 4A 40 BC
- DURING CONSTRUCTION. 20. ALL SPECIFICATIONS TO BE CHECKED AND VERIFIED WITH GENERAL
- CONTRACTOR. 21. SEE PLANS FOR LOCATION OF ALL UTILITY SERVICES.
- 22. STUB OUT 2'-0" FOR SEWER HOOK-UP. 23. ALL OVERHEAD PLUMBING TO BE COPPER OR AS OTHERWISE NOTED.
- 24. ALL PLUMBING FIXTURES TO BE ACID RESISTANT 25. PLUMBER TO INSTALL CONDENSATION LINE FOR AIR CONDITIONER. 26. PLUMBER TO HOOK-UP AND INSTALL PROPER WATER LINE TO
- REFREIGERATOR FOR ICE-MAKER WHERE APPLICABLE. 27. PROVIDE GAS FOR F.A.U. WHERE APPLICABLE. 28. PROVIDE AIR CHAMBERS AND/OR RUBBER GASKETS ON WATER
- LINES TO REDUCE PIPE NOISE WHERE APPLICABLE. 29. PROVIDE CONTINUOUSLY CIRCULATING WATER FROM HOT WATER HEATER TO ALL SINKS REQUIRING HOT WATER. PROVIDE SYSTEM

LAYOUT AND SPECS. FOR OWNER'S APPROVAL.



Scale: Drawn:

A-1.01

CALIFORNIA GREEN CODE MANDATORY REQUIREMENTS – RESIDENTIAL

The following requirements shall be incorporated into this project.

(Highlighted items to be filled-in by applicant.)



APPLICABILITY

These regulations are applicable to all new residential projects as well as to additions or alterations that increase the conditioned area, volume, or size of the structure. For such additions or alterations, the requirements shall only apply within the specific area of that addition or alteration.

SITE DEVELOPMENT

- 1. Preservation of slopes, management of storm water drainage and erosion controls shall be established on all construction sites for new buildings. The following measures shall be implemented, as appropriate:
- a) Retention basins of sufficient size shall be utilized on the site to retain storm water.
- b) Where storm water is conveyed to a public drainage system, water shall be filtered by use of a barrier system, wattle or other approved method.
- c) Compliance with all applicable storm water management regulations shall be mandatory. 2. Surface water shall be kept from entering the building.

ENERGY EFFICIENCY 1. All new buildings shall comply with the applicable requirements of the California Energy Code.

1. All plumbing fixtures identified in the following schedule will comply with the maximum flow rates shown.

Fixture Type Ma	ximum Flow Rate
Shower Head	2.0 gpm @ 80 psi
Kitchen Faucet	1.8 gpm @ 60 psi
Lavatory Faucet	1.2 gpm @ 60 psi
Water Closet	1.28 gallons per flush
Urinal	0.125 gallons per flush
	(Wall mount)

2. Automatic irrigation system controllers which are either soil moisture or weather based shall be installed.

ENVIRONMENTAL QUALITY

- 1. All duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other acceptable material to reduce the amount of dust or debris which may collect in the system.
- 2. All adhesives, sealants, caulks, paints and coatings shall comply with the applicable SCAQMD VOC rules and verification of compliance shall be provided at the request of the Building Inspector.
- 3. All carpet and carpet cushion installed in the building interior shall meet one of the following standards: a) Carpet and Rug Institute's Green Label Plus Program
- b) California Dept of Public Health Standard Practice for testing of VOCs (Spec 01350)
- c) NSF/ANSI 140 at the Gold level
- d) Scientific Certifications Systems Indoor Advantage Gold
- 4. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in the ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et. seq.).
- 5. At least 80% of resilient flooring (if used) shall comply with the VOC limits of the CHPS, RFCI or California Department of Public Health.
- 6. A capillary break shall be installed between the concrete slab and supporting grade for habitable and heated structures. 7. Building materials with visible signs of water damage shall not be installed. Moisture content of framing members shall be verified (and documentation provided to the Building Inspector) as 19 percent or less prior to enclosure.
- 8. All bathroom exhaust fans shall be ENERGY STAR compliant and ducted to the outside of the building. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a readily accessible humidistat capable of adjustments between 50 to 80 percent relative humidity.

MATERIAL CONSERVATION

- 1. Annular spaces around pipes, electric cables, conduits or other openings in bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar or equivalent methods acceptable to the Building Official.
- 2. The Construction Waste Management Plan shall require that at least 65% of all nonhazardous construction waste generated by this project as identified in the following table is recycled and/or salvaged.

Waste Material Type	(A) Estimated weight of waste before any recycling or salvage (in tons)	(B) Estimated weight of recycled or salvaged waste (in tons)	(C) Projected Diversion Rate (in Percent) Calculate the Projected
Asphalt	8 \		Diversion Rate Percentage
Concrete			by using the following
Metal			formula:
Wood			
Insulation			$(B) \div (A) \times 100 = (C)$
Drywall			
Carpet and pad			NOTE: Total diversion
Cardboard and paper			rate <u>shall not be less than</u>
Plastics			65%
Glass			
Other:			
Other:			∀
TOTAL FOR ALL MATERIALS			

a) All subcontractors shall comply with the project's Construction Waste Management Plan.

- b) This project shall generate the least amount of waste possible by planning and ordering carefully, following all proper storage and handling procedures to reduce broken and damaged materials and reusing materials whenever possible. Waste materials shall be sorted on site prior to removal.
- c) All construction waste removed from the site shall be documented and said documentation shall be provided in an organized format to the enforcement agency in order to verify compliance with the Construction Waste Management Plan.

BUILDING MAINTENANCE AND OPERATION 1. At the time of final building inspection, a manual or other media providing the following information shall be placed

- in the building: a) Directions to the owner that the manual shall remain with the building.
- b) Operation and maintenance instructions for all equipment and appliances.
- c) Information from local utilities concerning conservation programs.
- d) Public transportation and/or carpooling available in the area.
- e) Educational materials on the positive impacts of an interior relative humidity between 30–60 percent and how those levels may be achieved and maintained.
- f) Information concerning water-conserving landscaping and irrigation design.
- g) Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away
- h) Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
- i) Information about state solar energy and incentive programs available.
- j) A copy of any special reports or commissioning reports required to verify compliance with the Green Code

REVISIONS

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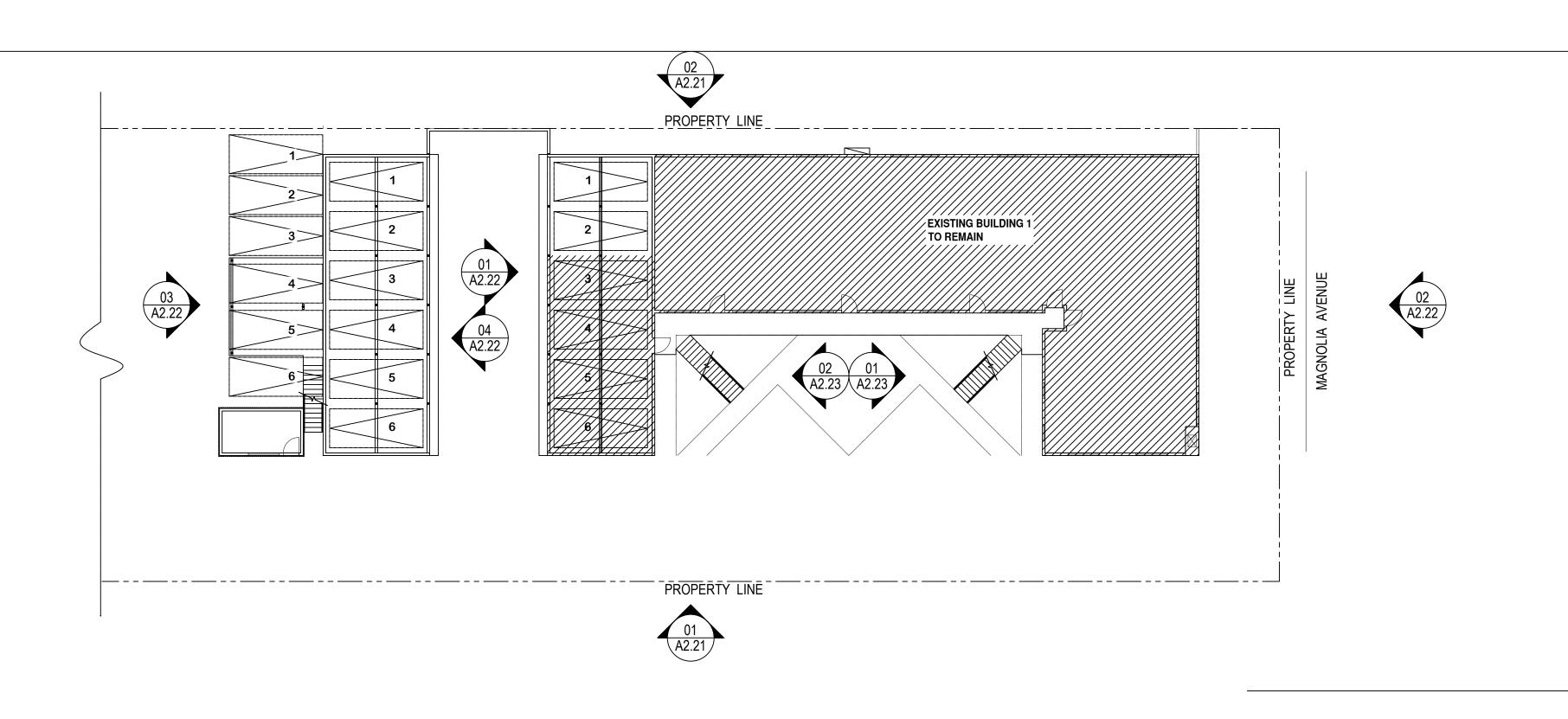
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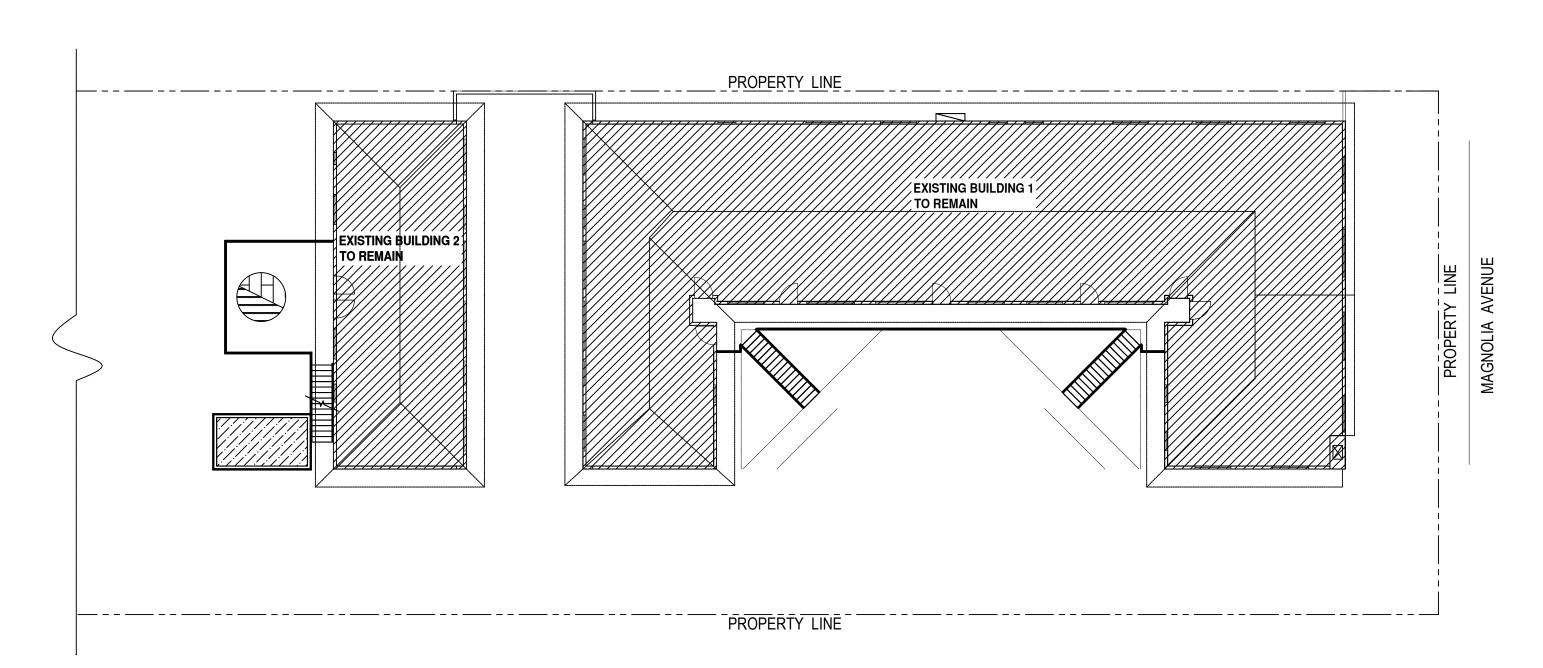


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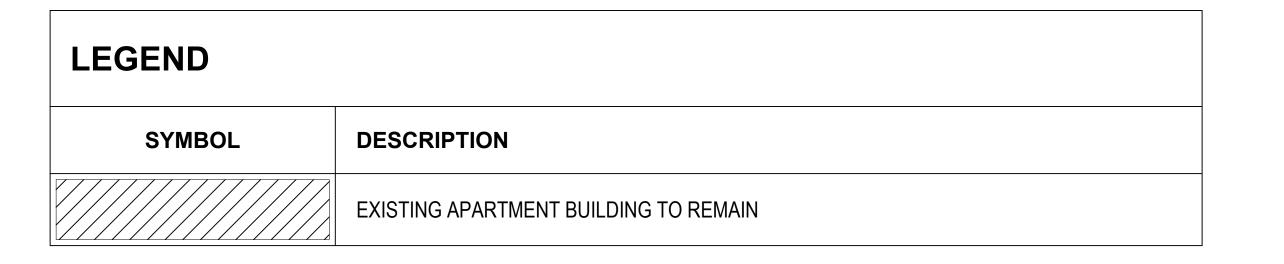
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EXISTING SITE PLAN
Scale: 1/16"=1'-0"



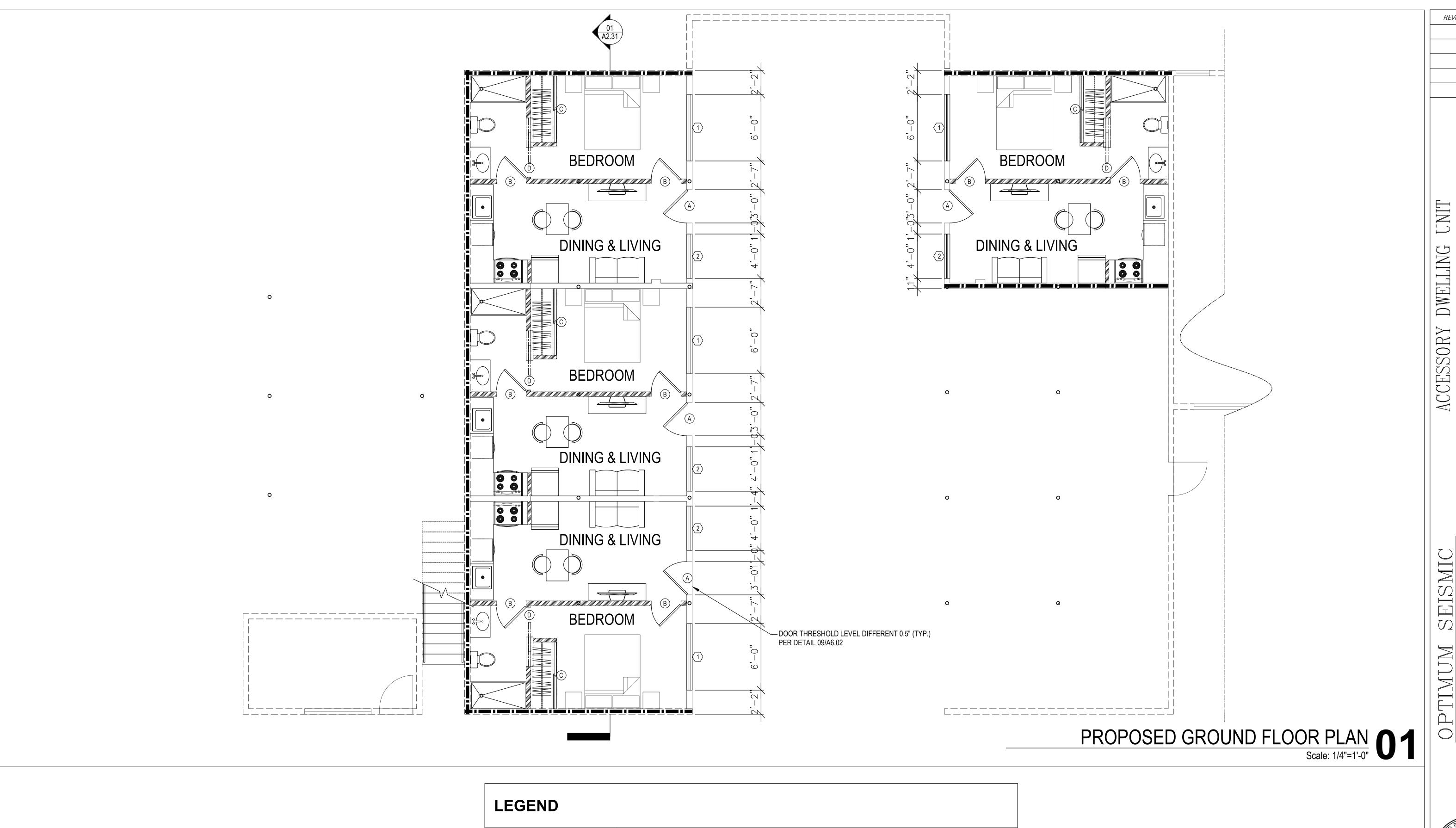
EXISTING SECOND FLOOR & ROOF PLAN Scale: 1/16"=1'-0"



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SYMBOL DESCRIPTION NEW EXTERIOR WALL CONSTRUCTION. REFER TO 01&02/A6.01 NEW INTERIOR WALL CONSTRUCTION. REFER TO 03/A6.01 EXISTING WALL TO REMAIN (E) TENANT DEMISING WALL, G.C. TO VERIFY EXISTING WALL CONDITION TO COMPLY DETAIL A6.02-02, 1-HR FIRE RATED, STC-50 MIN., REPAIR / REPLACE WHEN APPLICABLE



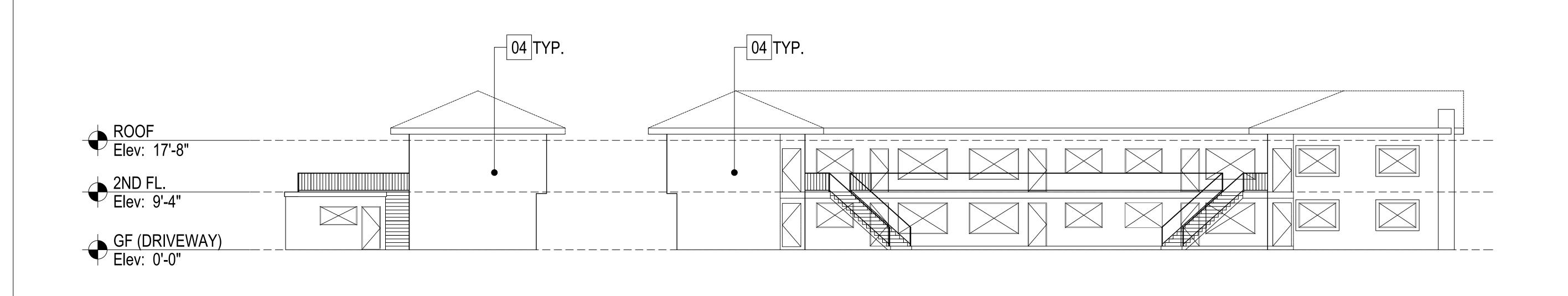
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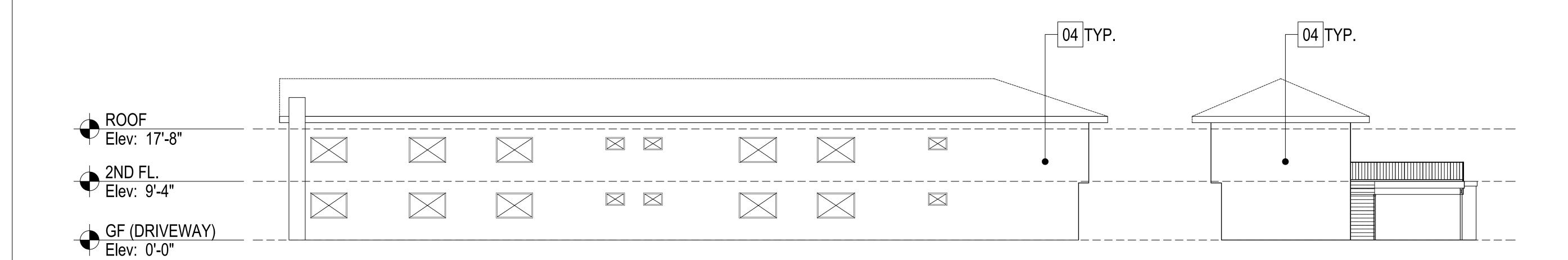
REVISIONS

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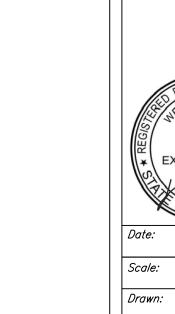
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EXISTING EAST ELEVATION Scale: 1/8"=1'-0"



EXISTING WEST ELEVATION Scale: 1/8"=1'-0"



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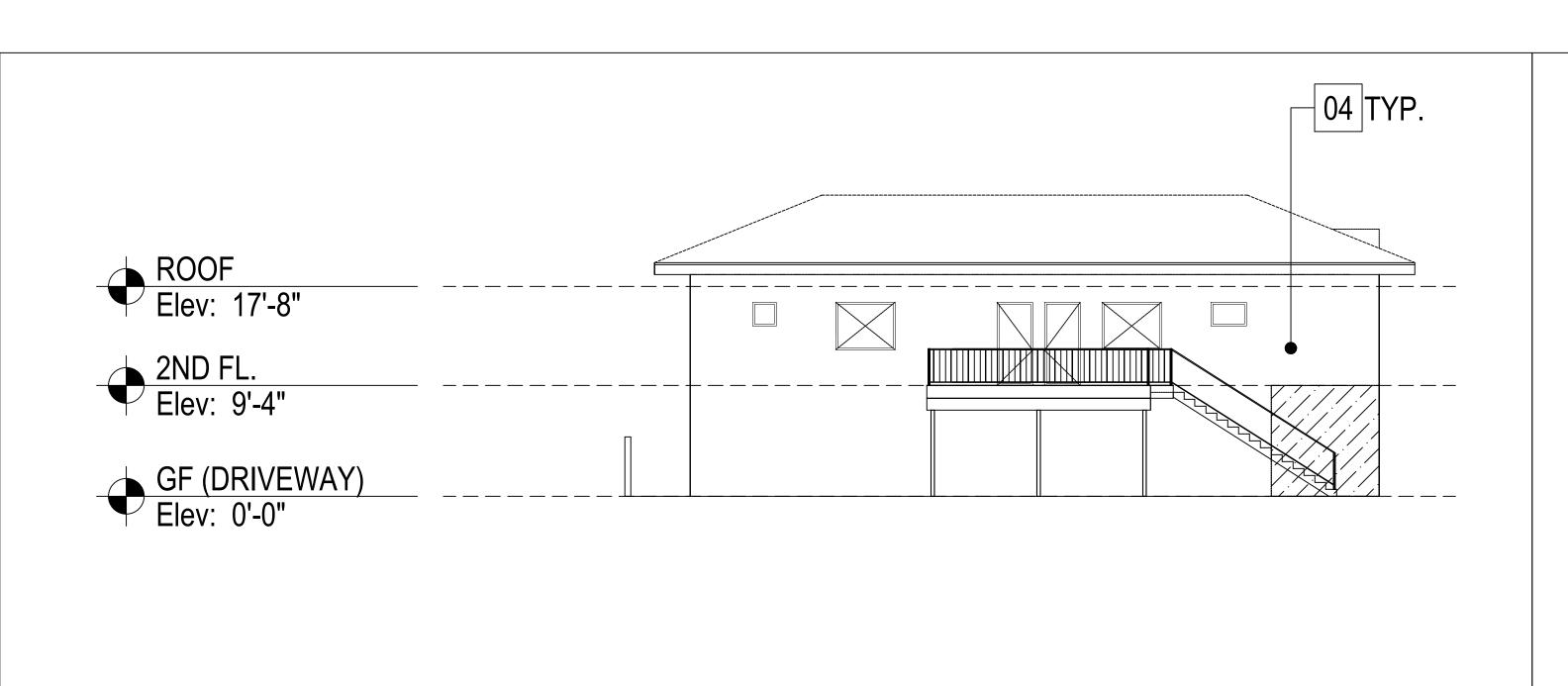
ACCESSORY

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A-2.21

ELEVATION KEY NOTES SYMBOL DESCRIPTION 01 (N) EXT. STUCCO WALL TO MATCH EXISTING MAIN DWELLING BUILDING (N) ALUMINUM WINDOW 1/4" DOUBLE GLAZING W/ TEMPERED GLASS. SEE A2.31, WINDOW SCHEDULE (N) EXTERIOR WOOD COMPOSITE DOOR W/ METAL FRAME. SEE A2.31 DOOR SCHEDULE 04 (E) EXT. STUCCO WALL

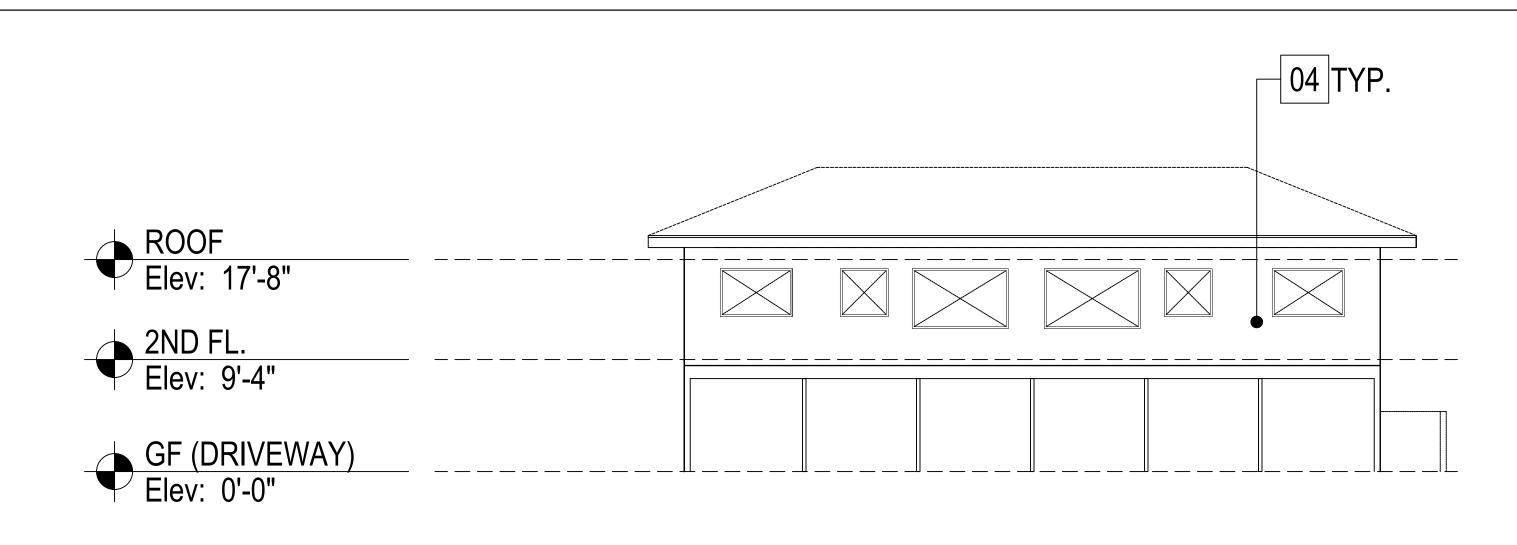


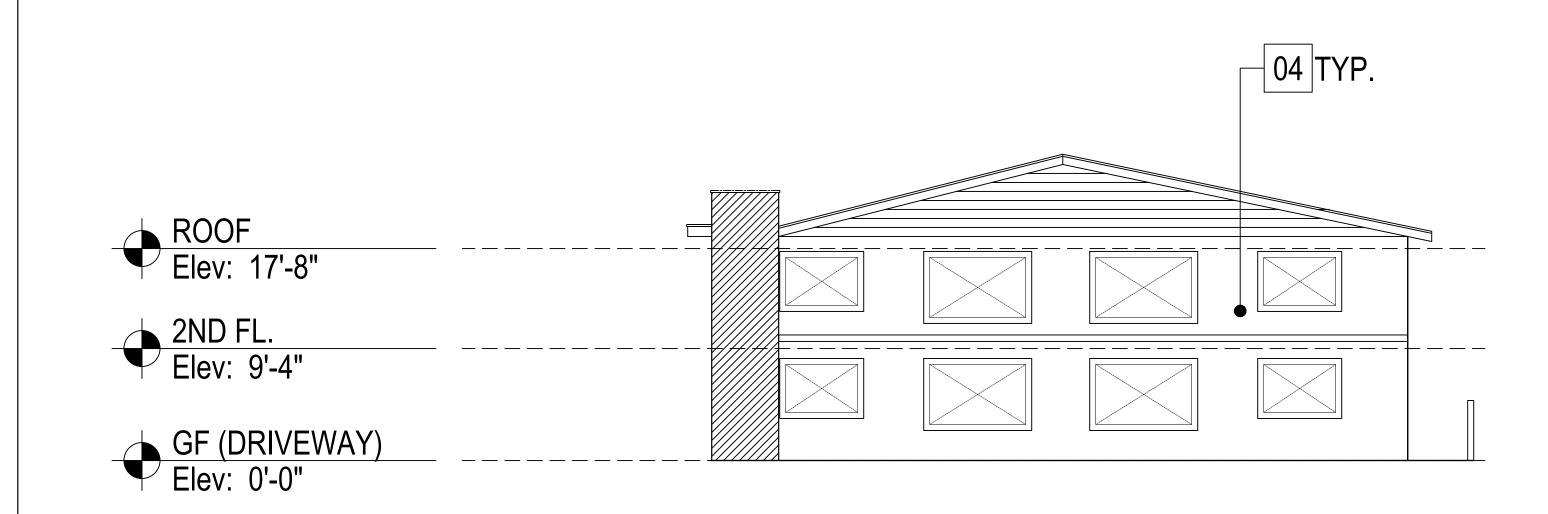
ROOF Elev: 17'-8" 2ND FL. Elev: 9'-4" GF (DRIVEWAY) Elev: 0'-0"

___04 TYP.

BUILDING 2 EXISTING SOUTH ELEVATION Scale: 1/8"=1'-0" 3

BUILDING 1 EXISTING SOUTH ELEVATION Scale: 1/8"=1'-0"





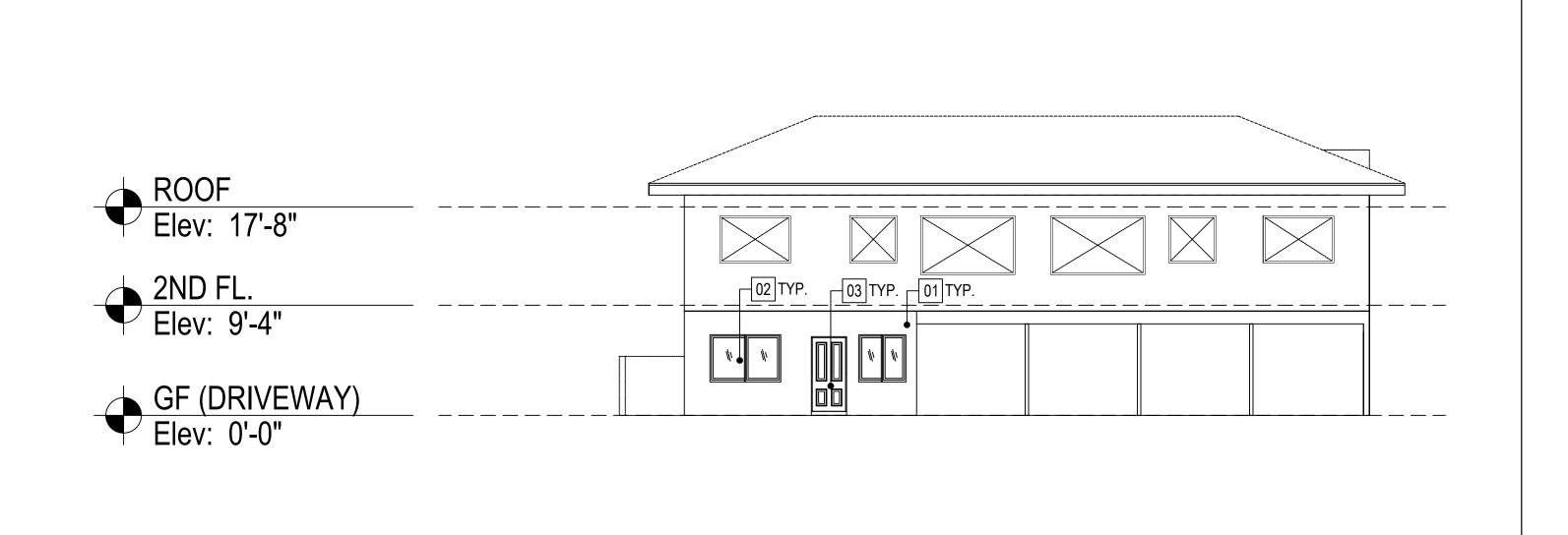
BUILDING 2 EXISTING NORTH ELEVATION Scale: 1/8"=1'-0" 4

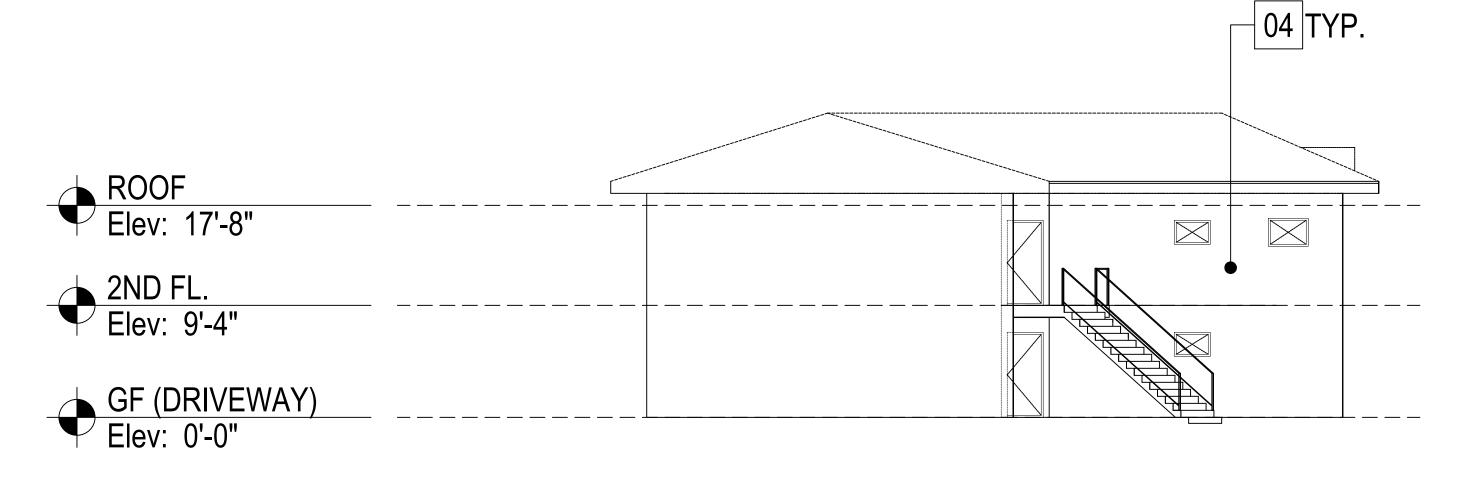
BUILDING 1 EXISTING NORTH ELEVATION Scale: 1/8"=1'-0" 2

ELEVAT	ION KEY NOTES
SYMBOL	DESCRIPTION
01	(N) EXT. STUCCO WALL TO MATCH EXISTING MAIN DWELLING BUILDING
02	(N) ALUMINUM WINDOW 1/4" DOUBLE GLAZING W/ TEMPERED GLASS. SEE A2.31, WINDOW SCHEDULE
03	(N) EXTERIOR WOOD COMPOSITE DOOR W/ METAL FRAME. SEE A2.31 DOOR SCHEDULE
04	(E) EXT. STUCCO WALL

A-2.22

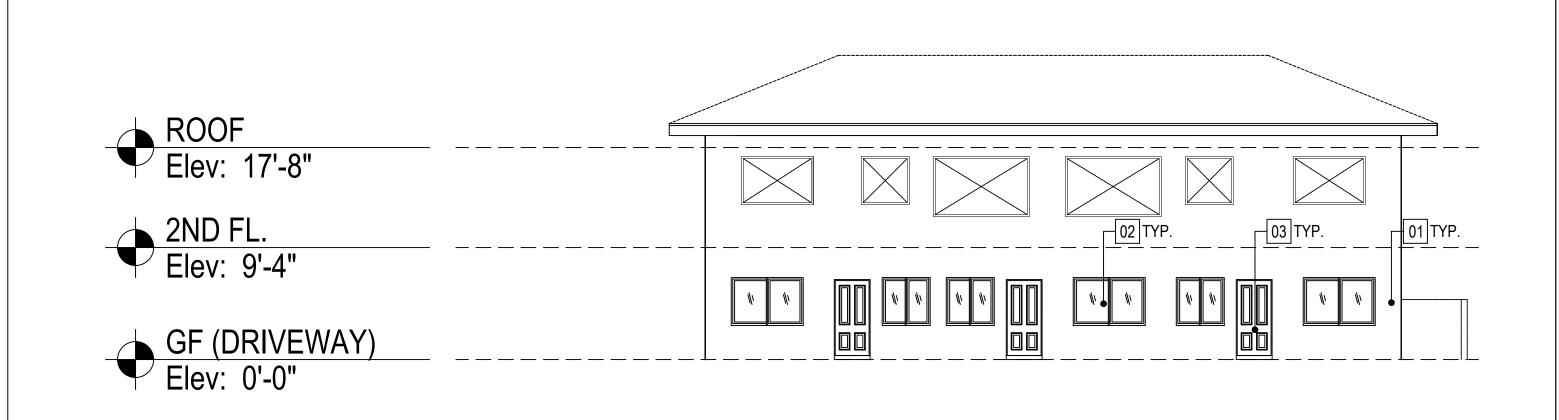
ACCESSORY

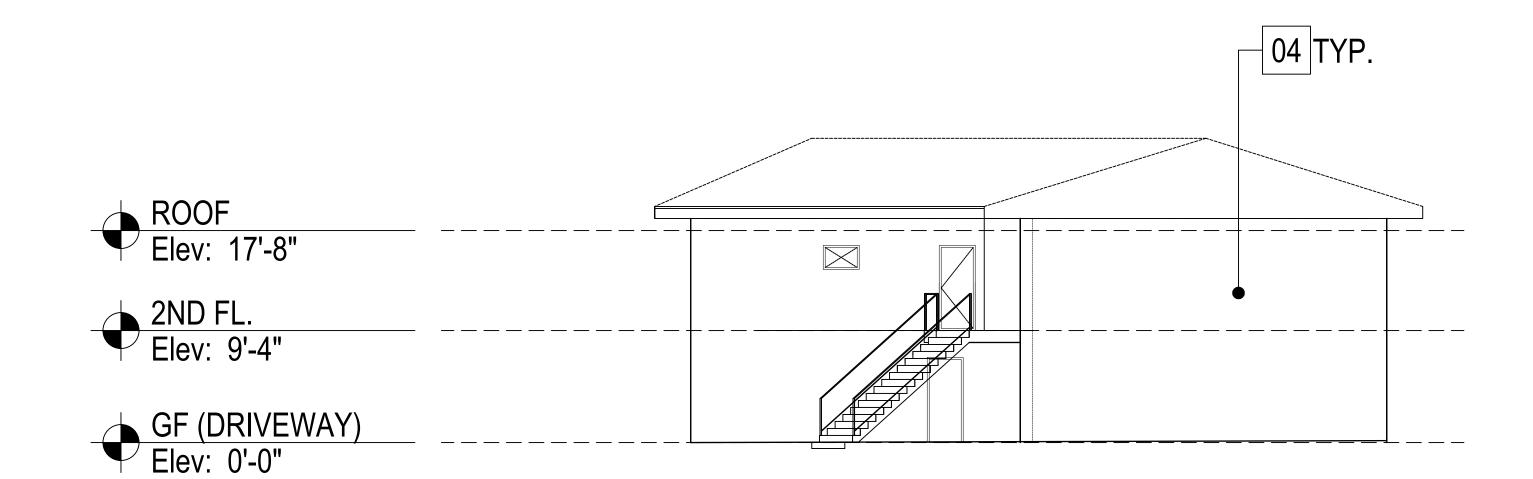




PROPOSED BUILDING 1 SOUTH ELEVATION Scale: 1/8"=1'-0" Scale: 1/8"=1'-0"

EXISTING INTERIOR SOUTH ELEVATION Scale: 1/8"=1'-0"





PROPOSED BUILDING 2 NORTH ELEVATION Scale: 1/8"=1'-0" Output Scale: 1/8"=1'-0"

EXISTING INTERIOR NORTH ELEVATION Scale: 1/8"=1'-0"

ELEVAT	ION KEY NOTES
SYMBOL	DESCRIPTION
01	(N) EXT. STUCCO WALL TO MATCH EXISTING MAIN DWELLING BUILDING
02	(N) ALUMINUM WINDOW 1/4" DOUBLE GLAZING W/ TEMPERED GLASS. SEE A2.31, WINDOW SCHEDULE
03	(N) EXTERIOR WOOD COMPOSITE DOOR W/ METAL FRAME. SEE A2.31 DOOR SCHEDULE
04	(E) EXT. STUCCO WALL

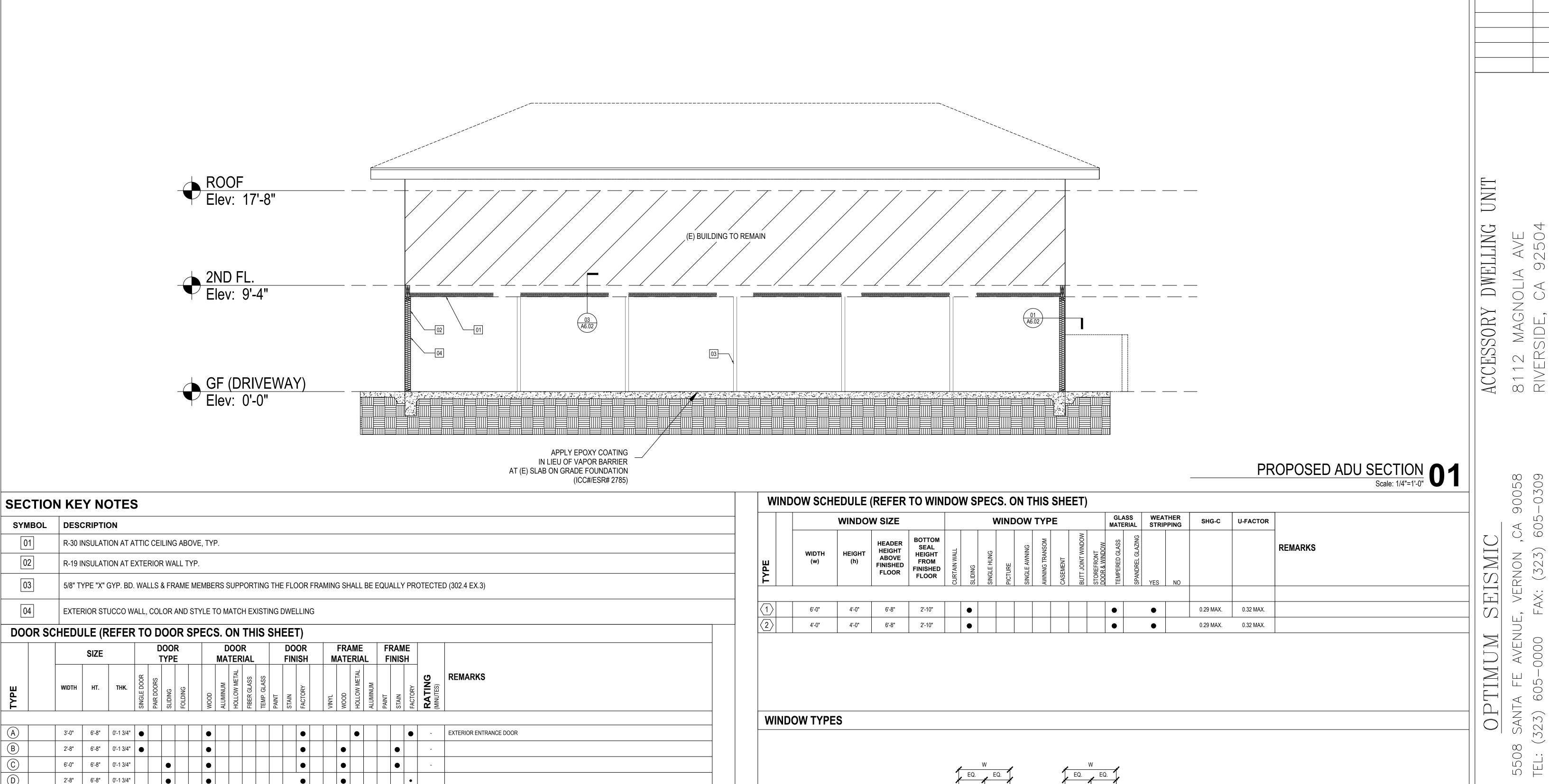


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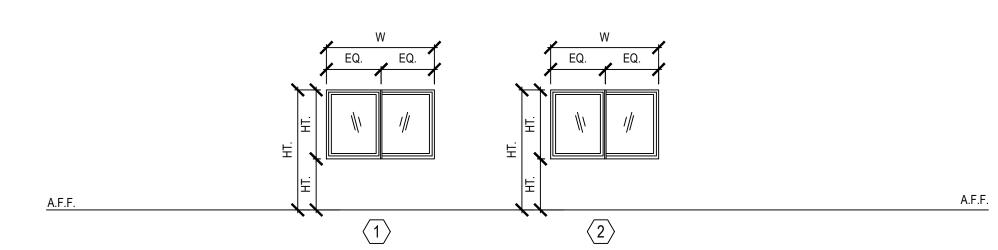
VERNON AX: (323) A FE 605 5508 TEL: (

REVISIONS

Scale: Drawn:

Approved:

A-2.31



A.F.F.

- 1. CONTRACTOR SHALL VERIFY WITH OWNER/ARCH. ALL WINDOW SIZES, MATERIALS, FINISHES AND LOCATIONS PRIOR TO ORDERING.
- 2. FOR WINDOW TYPES REFER TO EXTERIOR ELEVATIONS.
- 3. ALL GLAZING TO BE LOW E DOUBLE GLAZING. REFER TO TITLE 24 ENERGY CALCS. FOR FENESTRATION TYPE.
- 4. GLAZING SHGC VALUE: 0.29 MAX. U-FACTOR: 0.32 MAX. 5. IN PUBLIC AREA (OUTSIDE THE UNIT) WHERE GLAZED OPENINGS AREA PROVIDED
- IN ACCESSIBLE ROOMS OR SPACES FOR OPERATION BY OCCUPANTS, AT LEAST
- OPENING SHALL COMPLY WITH SECTION 1138 A. 4: "CONTROLS AND OPERATION MECHANISMS"

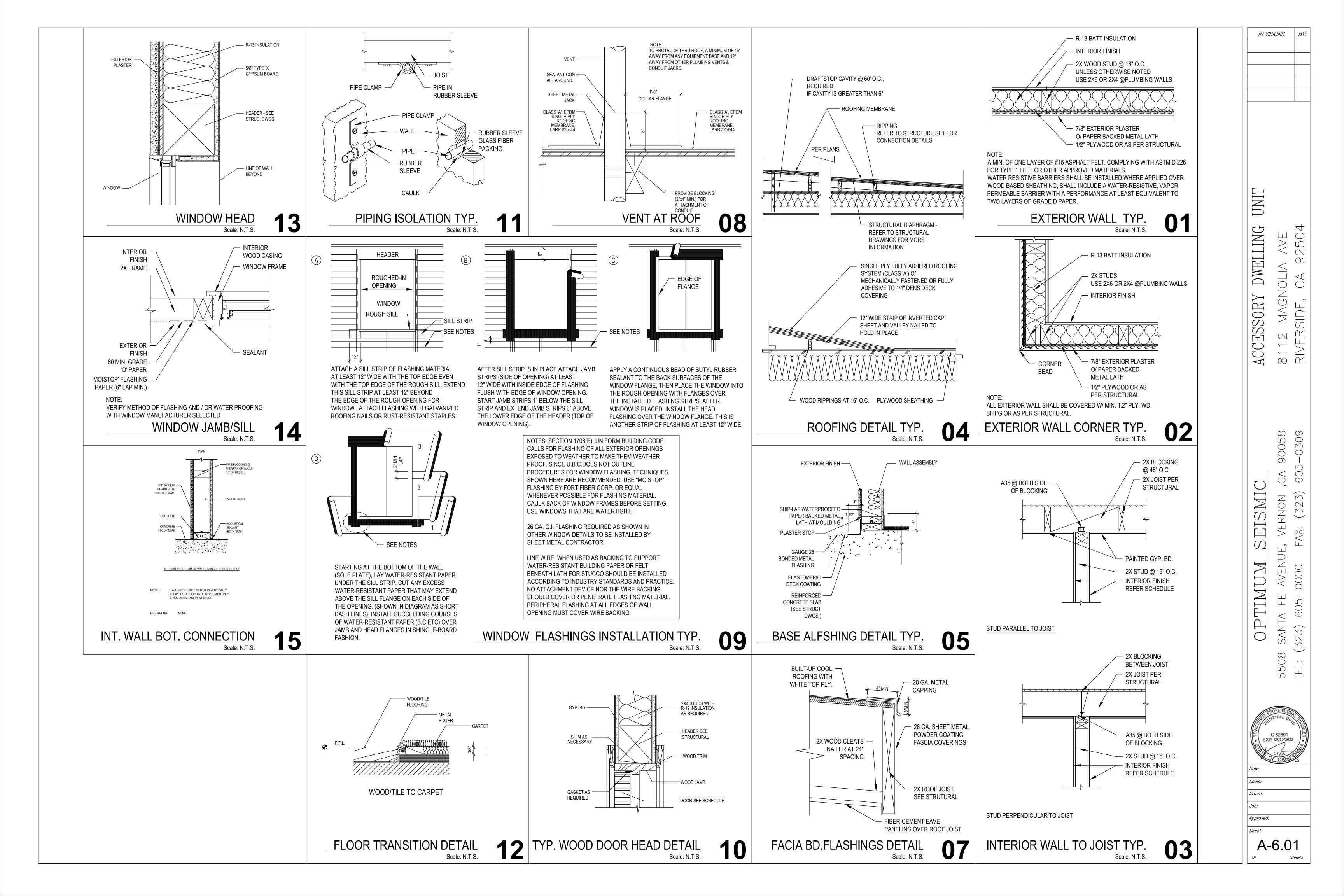
DOOR TYPES

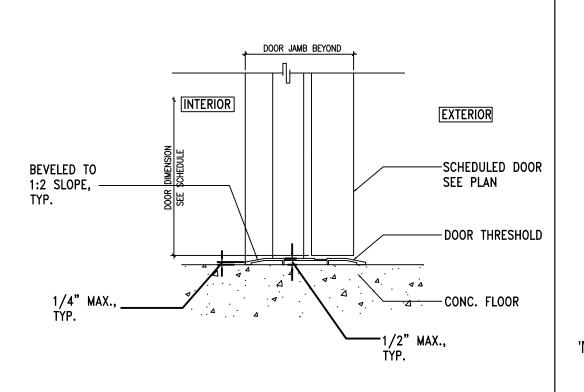
1. CONTRACTOR SHALL VERIFY WITH OWNER/ARCH. ALL DOOR SIZES, MATERIALS, FINISHES AND LOCATIONS PRIOR TO ORDERING.

©

- 2. PROVIDE WEATHER STRIPPING FOR ALL EXTERIOR DOORS TYP.
- 3. EXIT DOORS SHALL BE OPERABLE FROM INSIDE WITHOUT USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. 4. SIZE OF THE STORAGE UNDER THE STAIRCASE VERIFY IN FIELD.
- 5. EXTERIOR DOOR ASSEMBLIES SHALL BE APPROVED NONCOMBUSTIBLE MATERIAL. 6. EXTERIOR GLAZED DOOR: SHGC VALUE: 0.29 MAX. U-FACTOR: 0.32 MAX. FOR RESIDENTIAL

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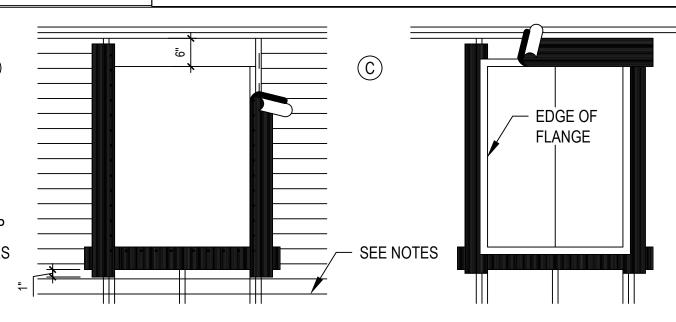


INTERIOR INTERIOR WOOD CASING **FINISH** WINDOW FRAME 2X FRAME **EXTERIOR SEALANT** FINISH 60 MIN. GRADE 'D' PAPER 'MOISTOP' FLASHING PAPER (6" LAP MIN.)

VERIFY METHOD OF FLASHING AND / OR WATER PROOFING WITH WINDOW MANUFACTURER SELECTED

DOOR THRESHOLD DETAIL 09

WINDOW JAMB/SILI Scale: N.T.S



ATTACH A SILL STRIP OF FLASHING MATERIAL AT LEAST 12" WIDE WITH THE TOP EDGE EVEN WITH THE TOP EDGE OF THE ROUGH SILL. EXTEND THIS SILL STRIP AT LEAST 12" BEYOND THE EDGE OF THE ROUGH OPENING FOR WINDOW. ATTACH FLASHING WITH GALVANIZED ROOFING NAILS OR RUST-RESISTANT STAPLES.

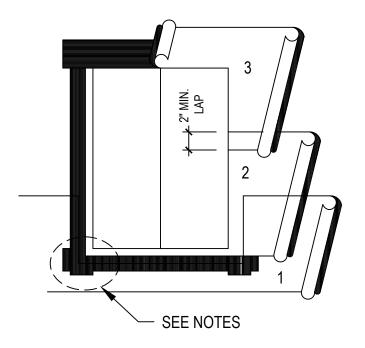
HEADER

ROUGHED-IN

WINDOW

OPENING

ROUGH SILL



STARTING AT THE BOTTOM OF THE WALL (SOLE PLATE), LAY WATER-RESISTANT PAPER UNDER THE SILL STRIP. CUT ANY EXCESS WATER-RESISTANT PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE ON EACH SIDE OF THE OPENING. (SHOWN IN DIAGRAM AS SHORT DASH LINES). INSTALL SUCCEEDING COURSES OF WATER-RESISTANT PAPER (B,C,ETC) OVER JAMB AND HEAD FLANGES IN SHINGLE-BOARD FASHION.

AFTER SILL STRIP IS IN PLACE ATTACH JAMB STRIPS (SIDE OF OPENING) AT LEAST 12" WIDE WITH INSIDE EDGE OF FLASHING FLUSH WITH EDGE OF WINDOW OPENING. START JAMB STRIPS 1" BELOW THE SILL STRIP AND EXTEND JAMB STRIPS 6" ABOVE THE LOWER EDGE OF THE HEADER (TOP OF WINDOW OPENING).

APPLY A CONTINUOUS BEAD OF BUTYL RUBBER SEALANT TO THE BACK SURFACES OF THE WINDOW FLANGE, THEN PLACE THE WINDOW INTO THE ROUGH OPENING WITH FLANGES OVER THE INSTALLED FLASHING STRIPS. AFTER WINDOW IS PLACED, INSTALL THE HEAD FLASHING OVER THE WINDOW FLANGE. THIS IS ANOTHER STRIP OF FLASHING AT LEAST 12" WIDE

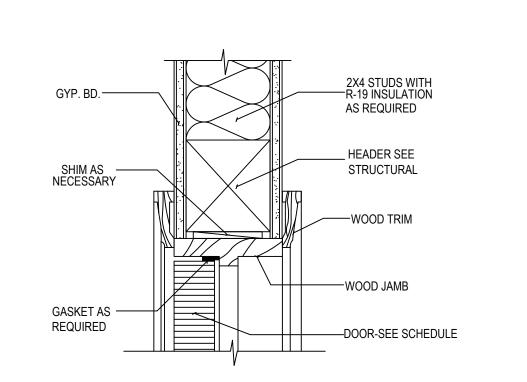
NOTES: SECTION 1708(B), UNIFORM BUILDING CODE CALLS FOR FLASHING OF ALL EXTERIOR OPENINGS EXPOSED TO WEATHER TO MAKE THEM WEATHER PROOF. SINCE U.B.C.DOES NOT OUTLINE PROCEDURES FOR WINDOW FLASHING, TECHNIQUES SHOWN HERE ARE RECOMMENDED. USE "MOISTOP" FLASHING BY FORTIFIBER CORP. OR EQUAL WHENEVER POSSIBLE FOR FLASHING MATERIAL CAULK BACK OF WINDOW FRAMES BEFORE SETTING. USE WINDOWS THAT ARE WATERTIGHT.

26 GA. G.I. FLASHING REQUIRED AS SHOWN IN OTHER WINDOW DETAILS TO BE INSTALLED BY SHEET METAL CONTRACTOR.

LINE WIRE, WHEN USED AS BACKING TO SUPPORT WATER-RESISTANT BUILDING PAPER OR FELT BENEATH LATH FOR STUCCO SHOULD BE INSTALLED ACCORDING TO INDUSTRY STANDARDS AND PRACTICE. NO ATTACHMENT DEVICE NOR THE WIRE BACKING SHOULD COVER OR PENETRATE FLASHING MATERIAL. PERIPHERAL FLASHING AT ALL EDGES OF WALL OPENING MUST COVER WIRE BACKING

WINDOW FLASHINGS INSTALLATION TYP. Scale: N.T.S.

07



TYP. WOOD DOOR HEAD DETAIL Scale: N.T.S OS

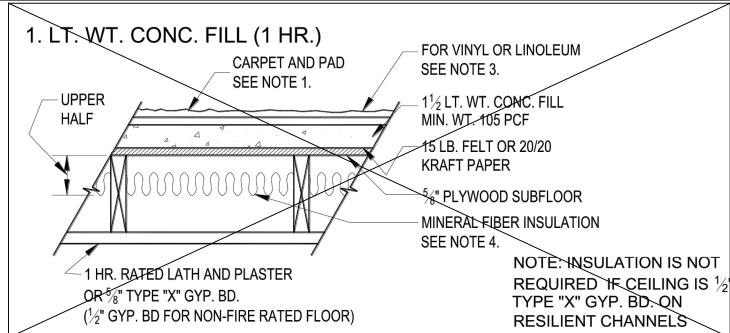
DETAIL NOTES:

1. 13 OZ. FACE WT. CARPET (31 OZ. TOT) AND 40 OZ. JUTTED PAD, OR 48 OZ. FOAM RUBBER, OR 3/8" REBONDED URETHANE FOAM (4 PCF), OR 1/2" URETHANE

FOAM (2.4 PCF). 2. TYPE AND SPACING OF RESILIENT CHANNELS AND THE ATTACHMENT OF CHANNELS AND GYPSUM BOARD OR LATH

SHALL BE AS REQUIRED FOR FIRE RATINGS 3. SHEET VINYL AND LINOLEUM FLOOR COVERINGS WITH 1/8" MINIMUM THICKNESS RESILIENT BACKING MAY BE SUBSTITUTED FOR CARPET AND PADDING IN KITCHEN AND BATHROOM AREAS, IF CEILINGS ARE ON RESILIENT CHANNELS.

4. THE MINERAL FIBER INSULATION SHALL HAVE A THERMAL RESISTANCE R VALUE OF 11 OR GREATER AS DETERMINED BY FEDERAL SPECIFICATION HH-I-521E.



GENERAL NOTES:

ALL PENETRATIONS INTO SOUND RATED PARTITIONS OR FLOOR-CEILING ASSEMBLIES SHALL BE SEALED, LINED, OR INSULATED WITH AN APPROVED PERMANENT RESILIENT SEALANT.

2. ALL RIGID CONDUITS, DUCTS, PLUMBING PIPES, AND APPLIANCE VENTS LOCATED IN SOUND RATED ASSEMBLIES SHALL BE ISOLATED FROM THE BUILDING CONSTRUCTION BY MEANS OF RESILIENT SLEEVES, MOUNTS, OR A MINIMUM 1/4" THICK APPROVED RESILIENT MATERIAL.

3. AN APPROVED PERMANENT AND RESILIENT ACOUSTICAL SEALANT SHALL BE PROVIDED ALONG THE JOINT BETWEEN THE FLOOR AND THE SEPARATION WALLS.

4. METAL VENTILATING AND CONDITIONED AIR DUCTS LOCATED IN SOUND RATED ASSEMBLIES SHALL BE LINED (EXCEPTION: DUCTS SERVING ONLY EXIT WAYS, KITCHEN COOKING FACILITIES, AND BATHROOMS NEED NOT BE LINED)

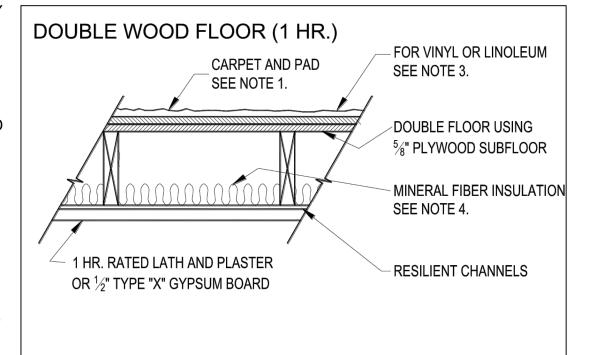
MINERAL FIBER INSULATION SHALL BE INSTALLED IN JOIST SPACES WHENEVER A PLUMBING, PIPING, OR DUCT PENETRATES A FLOOR-CEILING ASSEMBLY OR WHERE SUCH UNIT PASSES THROUGH THE PLANE OF THE FLOOR-CEILING ASSEMBLY FROM WITHIN A WALL. THE INSULATION SHALL BE INSTALLED TO A POINT 12" BEYOND THE PIPE OR DUCT. THIS REQUIREMENT IS NOT APPLICABLE TO FIRE SPRINKLER PIPE, GAS LINE OR ELECTRICAL CONDUIT

6. ELECTRICAL OUTLET BOXES IN OPPOSITE FACES OF SEPARATION WALLS SHALL BE SEPARATED HORIZONTALLY BY 24" AND NOTE THAT BACK AND SIDES OF BOXES SHALL BE SEALED WITH 1/8" RESILIENT SEALANT AND BACKED BY A MINIMUM OF 2" THICK MINERAL FIBER INSULATION.

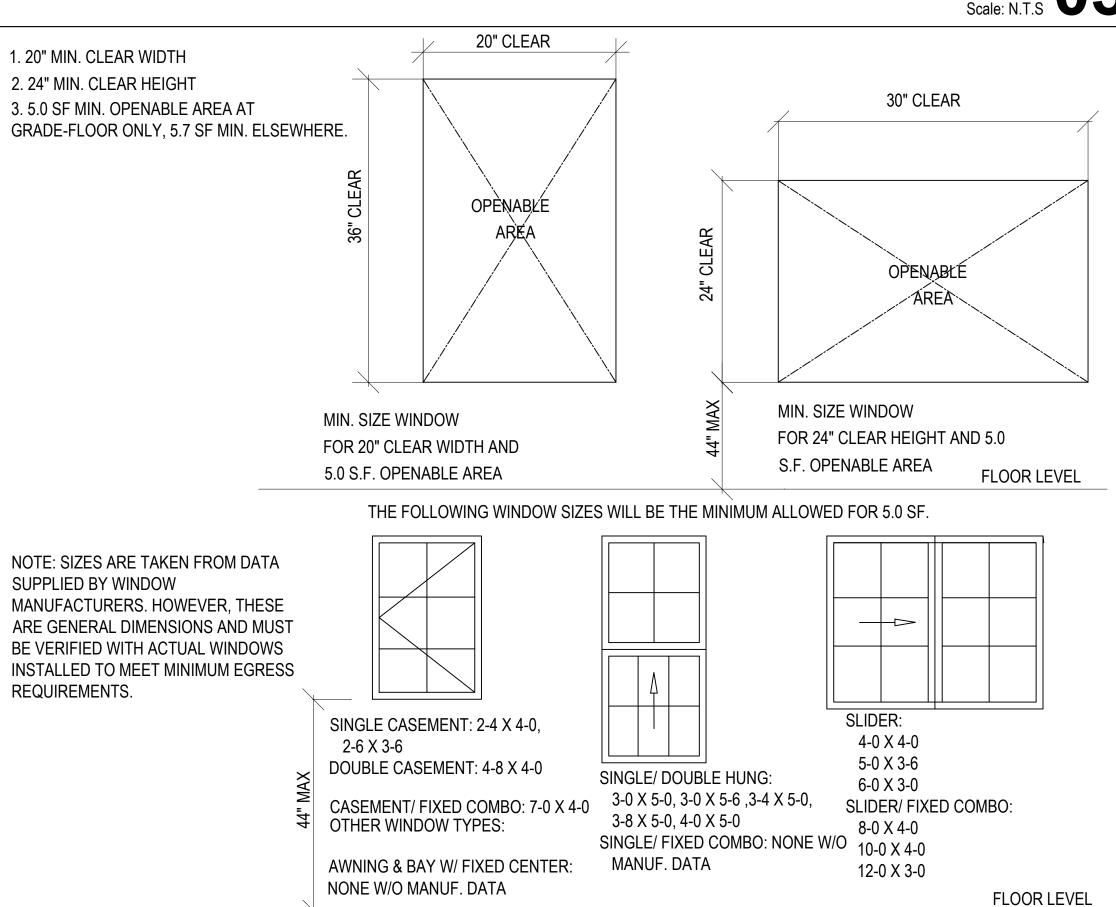
NO WALL FURNACE SHALL BE INSTALLED IN SOUND RATED PARTITIONS.

8. NO ELECTRICAL PANEL SHALL BE INSTALLED IN SOUND RATED PARTITIONS.

CONSTRUCTION NOTE: G.C. TO VERIFY (E) UPPER FLOORING MATERIAL TO DETERMINE MINERAL FIBER INSULATION LOCATION ACCORDINGLY

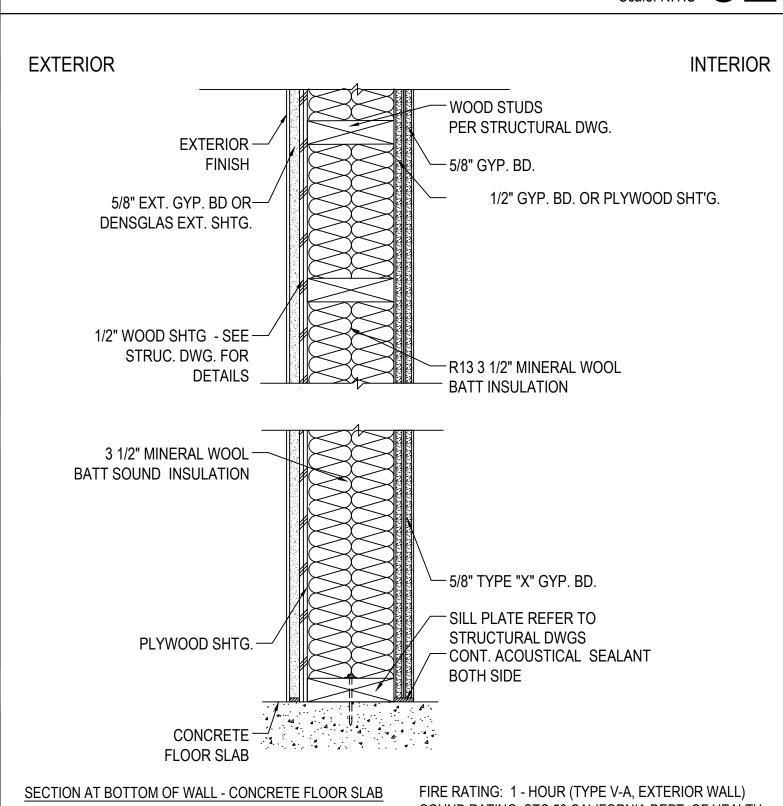


1-HR STC-50 FLOOR-CEILING ASSEMBLY $\bigcap \mathbf{Q}$ 1-HR FIRE RATED, STC-50 TENANT DEMISING WALL $\bigcap \mathbf{Q}$



EMERGENCY ESCAPE/ RESCUE OPENING (R310)

JOINT TAPE & --1 LAYER 5/8" GYP. BD. OVER COMPOUND RESILIENT CHANNEL ACOUSTICAL --2X6 DOUBLE **ADJACENT** SEALANT PROPOSED TOP PLATES (EACH SIDE) **TENANT UNIT** A.D.U. UNIT SECTION AT TOP OF WALL - 2x4 WOOD STUDS STAGGERED 1 LAYER 5/8" @ 16"O.C. GYP. BD. PLYWOOD SHT'G. WHERE OCCURS REFER TO STRUCTURE DWG. 3 1/2" MINERAL WOOL **BATT INSULATION** - 2 LAYERS OF 5/8" TYPE "X" GYP. BD. - 2X4 SOLID HORIZONTAL BLOCKING @ MIDSPAN ON EA. SIDE OF WALL. BLOCKING PLYWOOD SHTG. - SEE -STRUC. DWG. FOR SHALL NOT CONTACT OPPOSITE SIDE ROW **DETAILS** OF STUDS AND THE AIR GAP SHALL REMAIN FREE AND CLEAR OF DEBRIS. - 2 LAYERS OF 5/8" TYPE "X" GYP. BD. CONT. ACOUSTICAL SILL PLATE, REFER TO STRUCTURAL SEALANT BEADS OR MIN. 1/2" WIDE ACOUSTICAL TAPE OR AMORFORAM CONT. ACOUSTICAL SEALER UNDERNEATH SEALANT BOTH PLATE - CONCRETE SLAB SECTION AT BOTTOM OF WALL - CONCRETE FLOOR SLAB 1. ALL GYP BD SHEETS TO RUN VERTICALLY 2. 6" STRIP TAPE OUTER JOINTS OF GYPSUM BD ONLY 3. NO JOINTS EXCEPT AT STUDS FIRE RATING: 1 - HOUR (UNIT SEPARATION WALL) SOUND RATING: STC 51*CALIFORNIA DEPT. OF HEALTH SERVICES, OFFICE OF NOISE CONTROL, CATALOG OF STC AND 11C RATINGS FOR WALL AND FLOOR/CEILING ASSEMBLIES. SEC. NO 1.2.3.2.5.5. APPROVAL(S): GA WP 3380 (FIRE RATING)



1. ALL GYP BD SHEETS TO RUN VERTICALLY 2. TAPE OUTER JOINTS OF GYPSUM BD ONLY 3. NO JOINTS EXCEPT AT STUDS

SOUND RATING: STC 50 CALIFORNIA DEPT. OF HEALTH SERVICES, OFFICE OF NOISE CONTROL, CATALOG OF STC AND IIC RATINGS FOR WALL AND FLOOR/CEILING ASSEMBLIES. SEC. NO 1.2.1.2.2.2. APPROVAL(S): GA.WP 3441, UL DESIGN NO U329

1-HR FIRE RATED, STC-50 EXTERIOR WALL \\ \Pi \|



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Drawn: Approved:

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Project Na	ive Residential	Alterations												(Page 1 of 5)
	lame:				8112	Magnolia	Ave - 811	12 Magnol	ia Ave	Date Prepa	ared:			2021-04-08
A. General	Information													
01 Proje	ect Name		8112 Magnolia A	ve			02 D a	ate Prepared			2021-04	-08		
03 Proje	ect Location		8112 Magnolia A	ve			04 B u	uilding Front (Orientation	(deg)	90			
05 CA Cit	City		Riverside				06 N ı	umber of Alte	red Dwellii	ng Units	4			
07 Zip Co			92504				_	iel Type		2	Natural (gas		
	ate Zone ding Type		10 Multifamily					tal Condition ab Area (ft ²):	ed Floor Ar	ea (ft²):	1479			
			Insulation Adding Fenestrat	on/Glazing			Ex	ceptions to N						
13 Proje	ect Scope	The same of the sa	Space cooling sys Space heating sys	tem				eflectance and nittance or SF		Thermal	n/a			
B. Building	g Insulation Detai	ls - Framed (S	ection 150.2(b)	1)							17			
01	02	03	04	05		06		07	08	09		10	11	
						K 3	Pro	posed	\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	/ I L		Required		
Tag/ID	Assembly Type	Frame Type	Frame Depth (inches)	Frame Spacing (inches)	Cavity	Continuou Insulation		Factor —	Appendix .	JA4 Reference	e		Commo	ents
					R-value	R-value		ractor	Table	Cell				
Insulation #1		Wood	2x4	@ 16 in. O. C.	30	4		0.028	4.2.1	8C		19		
Insulation #2		Wood	2x4	@ 16 in. O. C.	19	4		0.055	4.3.1	5C		13		
	ed according to AST			ie, or above the	layer used to se	ear the roor ire	m water p	enetration, tr	ie insulatio	n snaii nave a	maximu	m water absor	ption of 0.3 percent	by volume when
Prescriptiv	ATE OF COMPLI	Alterations	ing/Cooling - S	ingle Family D	welling (Section	on 150.2(b).							C	CF1R-ALT-01-E (Page 4 of 5)
					This section	n does not	apply to	this proje	ct.					
J. Water He	eating Systems (S	ection 150.2(b)1H)											
					This section	n does not	apply to	this proje	ct.					
K. Multifan	mily Space Condi	ioning Systen	ns And Water H	eating Systen	ns									
	01		02		03		04		Dwelli	05 ng Unit: Altei	ration to		06	
Dwellin	ng Unit Name	Dwelling U	nit Total CFA (ft ²)		ter Heating Syst cation or Name			ater Heating tion or Name	Existing	or Installation	n of Spac	e	Comments	
ı	Unit 1		370	l	n/a		n/a			Yes				
'												1		
l	Unit 2	and market or	370		n/a		n/a			Yes				
l	Unit 2 Unit 3 Unit 4	Land of the same	370 370		n/a n/a n/a		n/a n/a n/a			Yes Yes				
l	Unit 3		370		n/a	RS	n/a			Yes				
Registration	Unit 3 Unit 4 In Number: 221-A	y Standards - :	370		n/a	Registra Report V	n/a n/a n/a			Yes		Report	Generated: 2021-0	
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Report Version: 2019.1.004

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Registration Number: 221-A010062082A-A02001C

CA Building Energy Efficiency Standards - 2019 Residential Compliance

Prescriptive Residential Alte	erations										1R-ALT-01-E Page 2 of 5)
C. Building Insulation Details - N	Non-Framed										
			This sec	tion does no	apply to this	s project.					
D. Opaque Surface Details - Ma	ass Walls (Section 15	D.1(c).1)	TI:								
E. Roof Replacement (Section 1	150 3/b\1U\		inis sec	tion does no	apply to this	s project.					
z. Noor Replacement (Section 2.	150.2(8)111)		This sec	tion does no	apply to this	s project.					
F. Fenestration/Glazing Allowed		ies (Section 150									
01 02 Maximum Allowe	03 Maximum ved Allowed	Existing Fenestrati			05 laximum	Maximum	Maximum	06 Maxin	num	07	
Alteration Type Fenestration Area Formula (ft ²)		Area for A	All Fenest	ration Allov	ved U-factor A Vindows)	llowed U-factor (Skylights)	Allowed SHO (Windows)			Commer	nts
Adding Fenestration/ 295.8 Glazing	74	0			0.30	0.30	0.23	0.2	3		
G. Fenestration Proposed Areas	us and Efficiencies - A	dd (Section 150.	.2(b)1A)								
Note: Doors with greater that	an or equal to 25 p	ercent glazed a	rea are consi	idered glazed	doors and a	re treated as	fenestration 10	products.	12	13	14
Tag/ID Fenestration Type Fran	me Type Dynamic	Orientation N, S, W, or E	Number of Panes	Proposed Fenestration Area N, S, E	Proposed West Facing Fenestration	Proposed U-factor	Proposed U-factor Source	Proposed SHGC	Proposed SHGC Source	Exterior Shading Device	Combined SHGC from CF1R-ENV-03
Window #1 Operable Nor	on-metal None	North	Single Pane	(ft²)	Area (ft ²)	0.3	NFRC	0.23	NFRC	None	n/a
Operable	on-metal None	South	Double pane	40	n/a	0.3	NFRC	0.23	NFRC	None	n/a
Registration Number: 221-A0100 CA Building Energy Efficiency Sta			ce	_	vtion Date/Tim		1-08 23:07:45		Report Genera		der: CalCERTS -08 23:03:47
					Version: rev 2						
Prescriptive Residential Alte											1R-ALT-01-E Page 5 of 5)
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Documentation Author's Declar L. I certify that this Certific		ce document	ation is acc	urate and c	omplete.						
Documentation Author Name: Yibo Qi					Documentation	n Author Signatu	ire: Yü	fo Qi			
Company: Pacific Engineering and Risk C	Consulting Group				Signature Date						
Address:					2021-04-0	8 23:07:45					
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Report Version: 2019.1.004 Schema Version: rev 20200901

CA Building Energy Efficiency Standards - 2019 Residential Compliance

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	riptive Res	idential Alteration	ns									(Page 3		
15	Existing +	- Proposed Fenestra	tion Area				160							
16	Maximur	n Allowed Fenestrat	ion Area				295.8							
17	Compliar	nce Statement					Design comp	lies with th	e total allo	owed fenestration a	area			
18	Existing +	- Proposed West-Fac	cing Fenestration Ar	ea			n/a							
19	Maximur	n Allowed West Faci	ng Fenestration Are	ea			74							
20	 '	nce Statement				+	n/a							
21	 	Fenestration U-fac				\dashv	0.3							
22	+ -	Fenestration U-fact	or (Windows)			0.30 Design complies with the maximum allowed fenestration U-value								
23	 	nce Statement				\dashv		lies with th	e maximu	m allowed fenestra	ation U-value			
24	 	Fenestration SHGC	And the second			,	0.23]					
25	+ -	Fenestration SHGC	(Windows)		2	-	0.23		·		W. SUGG			
26	<u> </u>	rce Statement I Fenestration U-fact	ton (Slovlighte)					lies with tr	e maximu	m allowed fenestra	ation SHGC			
27	+ '-	Fenestration U-fact					n/a		W L		<u> </u>			
29	+ -	nce Statement	or (Skylights)			+	n/a							
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31	 	Fenestration SHGC				-+	0.23							
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	1 00			,			.,,							
H. Fen	estration Pr	oposed Areas and E	fficiencies - Replac	e (Section 150.2(b)1	lB)									
				Thi	s section does not	apply	to this proj	ect.						
		r Efficiency Standard	ls - 2019 Residentia	l Compliance			: 2019.1.004 n: rev 202009			Rep	port Generated: 202			
CERTI	IFICATE OF	COMPLIANCE										CF1R-ALT-C		
Altera	ations to S _l	pace Conditioning	Systems (former	ly CF-1R-ALT-HVA	C)							(Page 1 o		
Proje	ct Name:					;	8112 Magno	olia Ave	Date Pr	epared:		2021-04		
A. Gen	neral Inform	ation												
CF1R-	ALT-02 is a			ning systems cont	ained within a sin	gle dw	elling unit.	When mu	ltiple dw	elling units must	be documented, u	se one		
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01	Project Nan		0112 Magnalia	Aug			building Typ	e e		iviultilamily				
01	Project Loca		8112 Magnolia	Ave			Building Type Dwelling Unit Name		Multifamily 8112 Magnolia Ave					
01 03 05	Project Loca		Riverside	Ave		06			oned Floor	.	Ave			
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Registration Date/Time: 2021-04-08 23:07:45

Report Version: 2019.1.004 Schema Version: rev 20200901

HERS Provider: CalCERTS

Report Generated: 2021-04-08 23:06:12

Registration Number: 221-A010062082A-A02002A

CA Building Energy Efficiency Standards - 2019 Residential Compliance

Report Generated: 2021-04-08 23:05:24

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PLAN CHECK SUBMITTAL APR. 2021

REVISIONS:

SCALE: AS NOTED SHEET TITLE:

SHEET NUMBER:

Alterations t	OF COMPLIAN	CE								CI	1R-ALT-02
	to Space Condit	ioning Systems	(formerly CF-:	LR-ALT-HVAC)							(Page 2 of
D. Altered Spa	ace Conditioning	System (Sections	150.2(b)1E and								
						t apply to this p					
E. Entirely Ne	w or Complete Re	eplacement Duct	System, with or			t apply to this p		2(b)1E, F)			
						с арріу со сінз р	Toject.				
F. Entirely Nev	w or Complete Re	eplacement Spac	e Conditioning S 04	ystem (Section 1	.50.2(b)1C) 06	07	08	09	10	11	12
	SC System		Altered	Heating	Heating Minimum		Altered	Cooling	Cooling Minimum	Required	
System ID/ Name	Description of Area Served	Heating System Type	Heating Component	Efficiency Type	Efficiency Value	Cooling System Type	Cooling Component	Efficiency Type	Efficiency Value	Thermostat Type	New Due R-Value
System 1	Uni 2	Ductless mini-split HP	All new heating components	HSPF	8	Ductless mini-split HP	All new cooling components	SEER	14	SetbackTherm ostat	n/a
Duct insulation CF2R and CF3R Leakage rate of CF2R and CF3R CF2R and CF3R Compliance: I Alternative Co CF2R and CF3R Exceptions: Heating-only sy Note: An "entin	E - Space Condition requirement for the compliance: < 5% c-MCH-22 Fan Effil - MCH-23 Airflow Fan Efficacy <= 0.5 cmpliance: CF2R a - MCH-25 H Refrigues are exemptely new or replace.	r the new portion Leakage Test req %. cacy Rate Verification 58 W/cfm for nor and CF3R-MCH-2 gerant Charge ver of from the 0.58 V tement duct syste	uired n-gas furnaces ar 8 Return Duct De rification require W per cfm and 3: em" means at lea	nd 0.45 W/cfm for esign verification d when refrigeration of cfm per ton reast 75% of the du	or gas furnaces a is an alternative int containing cont	nd System Airflov e to MCH-22 and omponents are in:	v >= 350 cfm per MCH-23 verificat stalled or altered	ton. ion. (applicable in C	ed parts from tl	ne dwelling unit's	existing duc
	umber: 221-A010 nergy Efficiency St			liance	Report '	ation Date/Time: Version: 2019.1.0 Version: rev 202		23:07:45	Report G	HERS Prov enerated: 2021-04	
CERTIFICATE	OF COMPLIAN	CE								CI	1R-ALT-02
Alterations t	to Space Condit	ioning Systems	(formerly CF-:	LR-ALT-HVAC)							(Page 2 of
D. Altered Spa	ace Conditioning	System (Sections	150.2(b)1E and	F)							
				This se	ection does no	t apply to this p	roject.				
E. Entirely Ne	w or Complete Re	eplacement Duct	System, with or	without Equipm	nent Changeout	(Sections 150.2(b)1Diia and 150.	2(b)1E, F)			
				This se	ection does no	t apply to this p	roject.				
F. Entirely Nev	w or Complete Re	eplacement Spac	e Conditioning S	ystem (Section 1	L50.2(b)1C)						
01	02	03	04	05	06 Heating	07	08	09	10 Cooling	11	12
System ID/	SC System Description of Area Served	Heating System Type	Altered Heating Component	Heating Efficiency Type	Minimum Efficiency Value	Cooling System Type	Altered Cooling Component	Cooling Efficiency Type	Minimum Efficiency Value	Required Thermostat Type	New Du R-Value
Name		Ductless	All new heating components	HSPF	8	Ductless mini-split HP	All new cooling components	SEER	14	SetbackTherm ostat	n/a
	Unit 3	mini-split HP	_	17 6							
Name System 1 Required Docu CF2R-MCH-01- Duct insulatio CF2R and CF3R CF2R and CF3R CF2R and CF3R CF3R COmpliance: I Alternative CC CF2R and CF3R Exceptions: Heating-only systems	mentation: E - Space Condition requirement for the committee of the commit	mini-split HP oning Systems r the new portio Leakage Test req %. cacy Rate Verification 58 W/cfm for nor and CF3R-MCH-2 gerant Charge ver of from the 0.58 N	uired n-gas furnaces ar 8 Return Duct De rification require W per cfm and 33	nd 0.45 W/cfm fc esign verification d when refrigera 50 cfm per ton re	or gas furnaces a is an alternative int containing cont	nd System Airflov e to MCH-22 and omponents are in:	v >= 350 cfm per MCH-23 verificat stalled or altered	ton. ion. (applicable in C		ne dwelling unit's	existing duc
Name System 1 Gequired Docu GER-MCH-01- Duct insulation GER and CF3R Leakage rate GER and CF3R Compliance: I Alternative CC GER and CF3R Exceptions: Heating-only sy Note: An "entir	mentation: E - Space Condition requirement for the condition requi	mini-split HP oning Systems r the new portio Leakage Test req %. Rate Verification 58 W/cfm for nor and CF3R-MCH-2 gerant Charge ver of from the 0.58 V tement duct syste	uired n-gas furnaces ar 8 Return Duct De rification require W per cfm and 3: em" means at lea	nd 0.45 W/cfm for esign verification d when refrigeration of cfm per ton reast 75% of the du	or gas furnaces a is an alternative int containing cont	nd System Airflov e to MCH-22 and omponents are in	v >= 350 cfm per MCH-23 verificat stalled or altered nd up to 25% ma	ton. ion. (applicable in C	ed parts from tl	ne dwelling unit's	existing duc
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Exceptions:
Heating-only systems are exempt from the 0.58 W per cfm and 350 cfm per ton requirements.

Note: An "entirely new or replacement duct system" means at least 75% of the duct system is new duct material, and up to 25% may consist of reused parts from the dwelling unit's existing duct system (e.g., registers, grilles, boots, air handler, coil, plenums, duct material) if the reused parts are accessible and can be sealed to prevent leakage

Registration Date/Time: 2021-04-08 23:07:45

Report Version: 2019.1.004

Schema Version: rev 20200901

HERS Provider: CalCERTS

Report Generated: 2021-04-08 23:07:28

Registration Number: 221-A010062082A-A02004A

CA Building Energy Efficiency Standards - 2019 Residential Compliance

CERTIFICATE OF COMPLIANCE		CF1R-A
Alterations to Space Conditioning Systems (formerly CF-1R-ALT-HVAC)		(Page
Documentation Author's Declaration Statement		
1. I certify that this Certificate of Compliance documentation is accurate	1	
Documentation Author Name: Qi, Yibo	Documentation Author Signature:	
Company: Pacific Engineering and Risk Consulting Group	Signature Date: 2021-04-08 23:07:45	
Address: 22760 Hawthorne Blvd Suite 107	CEA/ HERS Certification Identification (if applicable):	
City/State/Zip: Torrance CA 90505	Phone: 858-888-3804	
Responsible Person's Declaration statement		
1. The information provided on this Certificate of Compliance is true and correct. 2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility. 3. That the energy features and performance specifications, materials, components, and mare requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. 4. The building design features or system design features identified on this Certificate of Cocalculations, plans and specifications submitted to the enforcement agency for approval. 5. I will ensure that a registered copy of this Certificate of Compliance shall be made availatins performance. I understand that a registered copy of this Certificate of Compliance is requirements.	anufactured devices for the building design or system design identified mpliance are consistent with the information provided on other application with this building permit application. Be with the building permit(s) issued for the building, and made availated to be included with the documentation the builder provides to the	on this Certificate of Compliance confi able compliance documents, workshee ble to the enforcement agency for all a building owner at occupancy.
Qi, Yibo Company :	Sylbo Qi Date Signed:	
Pacific Engineering and Risk Consulting Group	2021-04-08 23:07:45 License:	
Address: 22760 Hawthorne Blvd Suite 107	M39581	
City/State/Zip: Torrance CA 90505 Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this regit Registration Provider responsibility for the accuracy of the information	Phone: 858-888-3804	Easy to Verify at CalCERTS.com
Registration Number: 221-A010062082A-A02002A	Registration Date/Time: 2021-04-08 23:07:45	HERS Provider:
	Report Version: 2019.1.004 Schema Version: rev 20200901	Report Generated: 2021-04-08
Alterations to Space Conditioning Systems (formerly CF-1R-ALT-HVAC)		CF1R- <i>A</i> ————————————————————————————————————
Atterations to Space Conditioning Systems (formerly CF-1K-ALI-HVAC)		(Page
Documentation Author's Declaration Statement		
1. I certify that this Certificate of Compliance documentation is accurate	·	
Documentation Author Name: Qi, Yibo	Documentation Author Signature:	
Company: Pacific Engineering and Risk Consulting Group	Signature Date: 2021-04-08 23:07:45	
Address: 22760 Hawthorne Blvd Suite 107	CEA/ HERS Certification Identification (if applicable):	
City/State/Zip: Torrance CA 90505	Phone: 858-888-3804	
Responsible Person's Declaration statement		
2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility. 3. That the energy features and performance specifications, materials, components, and materials, components, and materials, components, and materials, code of Regulations. 4. The building design features or system design features identified on this Certificate of Cocalculations, plans and specifications submitted to the enforcement agency for approvalls. 5. I will ensure that a registered copy of this Certificate of Compliance shall be made availatinspections. I understand that a registered copy of this Certificate of Compliance is required. Responsible Designer Name:	anufactured devices for the building design or system design identified mpliance are consistent with the information provided on other applic with this building permit application. Ide with the building permit(s) issued for the building, and made availa	on this Certificate of Compliance confo able compliance documents, workshee ble to the enforcement agency for all a building owner at occupancy.
Company : Pacific Engineering and Risk Consulting Group Address: 22760 Hawthorne Blvd Suite 107	Date Signed: 2021-04-08 23:07:45 License: M39581	
City/State/Zip: Torrance CA 90505	Phone: 858-888-3804	
Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registration Provider responsibility for the accuracy of the information	n.	Easy to Verify at CalCERTS.com
	Registration Date/Time: 2021-04-08 23:07:45 Report Version: 2019.1.004	HERS Provider: Report Generated: 2021-04-08
	Schema Version: rev 20200901	neport dellerated. 2021-04-06
CERTIFICATE OF COMPLIANCE		CF1R-A
Alterations to Space Conditioning Systems (formerly CF-1R-ALT-HVAC)		(Page
Documentation Author's Declaration Statement		
I. I certify that this Certificate of Compliance documentation is accurate	and complete.	
Documentation Author Name:	Documentation Author Signature:	
Qi, Yibo Company:	Signature Date:	
Pacific Engineering and Risk Consulting Group Address:	2021-04-08 23:07:45 CEA/ HERS Certification Identification (if applicable):	
22760 Hawthorne Blvd Suite 107 City/State/Zip:	Phone:	
Torrance CA 90505	858-888-3804	
Responsible Person's Declaration statement I certify the following under penalty of perjury, under the laws of the State of California: 1. The information provided on this Certificate of Compliance is true and correct. 2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility. 3. That the energy features and performance specifications, materials, components, and material requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. 4. The building design features or system design features identified on this Certificate of Cocalculations, plans and specifications submitted to the enforcement agency for approval. 5. I will ensure that a registered copy of this Certificate of Compliance shall be made availated inspections. I understand that a registered copy of this Certificate of Compliance is required. Since the compliance is required.	anufactured devices for the building design or system design identified mpliance are consistent with the information provided on other applic with this building permit application. ple with the building permit(s) issued for the building, and made availa	on this Certificate of Compliance confiable compliance documents, workshee
Qi, Yibo Company: Pacific Engineering and Risk Consulting Group Address: 22760 Hawthorne Blvd Suite 107	Date Signed: 2021-04-08 23:07:45 License: M39581	
City/State/Zip:	Phone:	
Torrance CA 90505	858-888-3804	Easy to Verify at CalCERTS.com

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Registration Number: 221-A010062082A-A02004A

CA Building Energy Efficiency Standards - 2019 Residential Compliance

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Alte	ations to S	pace Conditioning	Systems (former	ly CF-1R-ALT-HVA	c)							(Page 1 of 3)
Proje	ect Name:					;	8112 Magno	olia Ave	Date Pre	pared:		2021-04-08
CF1R				ning systems cont	ained within a sin	gle dw	velling unit. \	When mu	ıltiple dwe	lling units must	be documented, u	ise one
01	Project Nar	ne	8112 Magnolia	Ave		02	Date Prepar	ed		2021-04-08		
03	Project Loc	ation	8112 Magnolia	Ave		04	Building Typ	e		Multifamily		
05	CA City		Riverside			06	Dwelling Un	it Name		8112 Magnolia	Ave	
07	Zip Code		92504			08	Dwelling Un	it Conditio	oned Floor	1479		
09	Area (ft²) Number of Space Conditioni									1		
D. C		ning (CC) Contain las				7			-J			
в. эр	01	ning (SC) System Inf 02	O3	04	05		06	0	7	08	09	10
	stem ID or Name	SC System Location or Area Served	CFA served by this SC System (ft ²)	Is the SC system a ducted system?	Installing a refrigerant containing	ı	Illing new SC system	Installin than 40	ig more	Installing entirely new duct system?	Installing entirely new SC system?	Alteration Type
S	rstem 1	Unit 3	370	No	component?	Con	Yes	N		No	Yes	Entirely new or complete replacement space conditioning system
•		per: 221-A01006208 y Efficiency Standard		l Compliance	Report \	/ersion	ate/Time: n: 2019.1.004 on: rev 202009		08 23:07:45		HERS I	
CA Bu	ilding Energ		ls - 2019 Residential		Report \ Schema	/ersion	n: 2019.1.004		08 23:07:45			1-04-08 23:06:50
CERT	ilding Energ	y Efficiency Standard	ls - 2019 Residential		Report \ Schema	/ersion Versio	n: 2019.1.004	901	Date Pre	Rej		Provider: CalCERTS 1-04-08 23:06:50 CF1R-ALT-02-E (Page 1 of 3)
CERT Alter Proju	TIFICATE OF rations to Sect Name:	y Efficiency Standard COMPLIANCE pace Conditioning	s - 2019 Residential Systems (former	ly CF-1R-ALT-HVA	Report \ Schema	/ersion Versio	n: 2019.1.004 nn: rev 202009	oo1	Date Pre	Rej	oort Generated: 202	1-04-08 23:06:50 CF1R-ALT-02-E (Page 1 of 3) 2021-04-08
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Report Version: 2019.1.004

Schema Version: rev 20200901

Report Generated: 2021-04-08 23:07:28

CA Building Energy Efficiency Standards - 2019 Residential Compliance

PLAN CHECK SUBMITTAL APR. 2021

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REVISIONS:

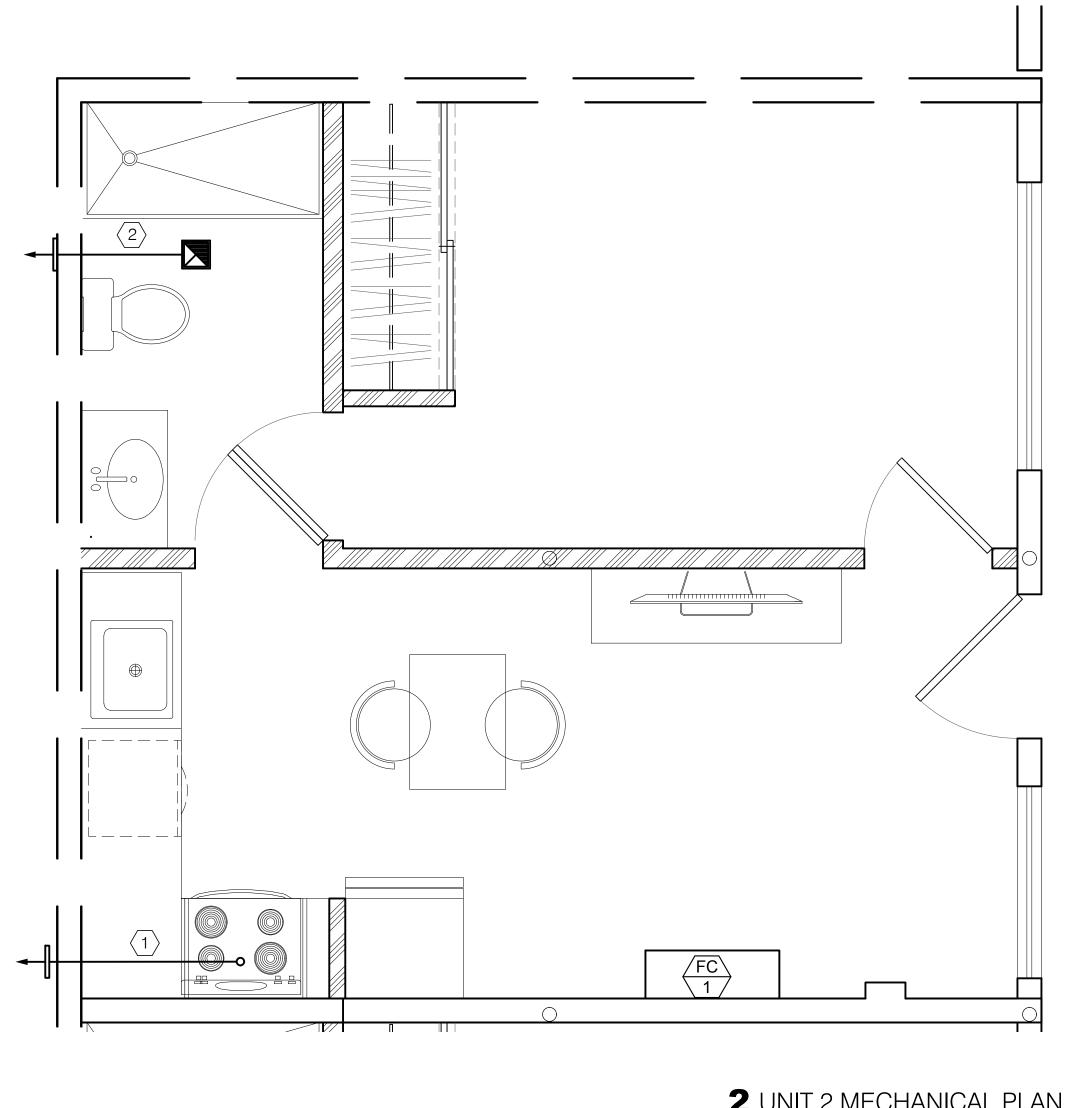
SCALE: AS NOTED SHEET TITLE:

SHEET NUMBER:

				Н	EAT PUMP E	EQUIPMENT	SHCE	DULE							
SYMBOL	UNIT TYPE	SERVICE	LOCATION	MANUFACTURE &MODEL	HEATING CAPACITY	COOLING CAPACITY	FAN		INDOO ELE	R FAN CTRIC D	ATA		WEIGHT LBS	EER	REMARKS
				QIVIODEL	BTU/HR	BTU/HR	CFM	V	PH	HZ	FLA	MCA	LDS		
HP 1	OUTDOOR	UNIT	WALL	MISTUBISHI MUZ-G12NA-U1	14400	12000	-	240	1	60	0.5	9	81	13.0	-
FC 1	INDOOR	UNIT	LIVING ROOM	MISTUBISHI MSZ-G12NA	-	-	399	240	1	60	0.76	1	22	-	WITH PROGRAMMABLE THERMOSTAT, MULTIPLE FAN SPEED OPTIONS

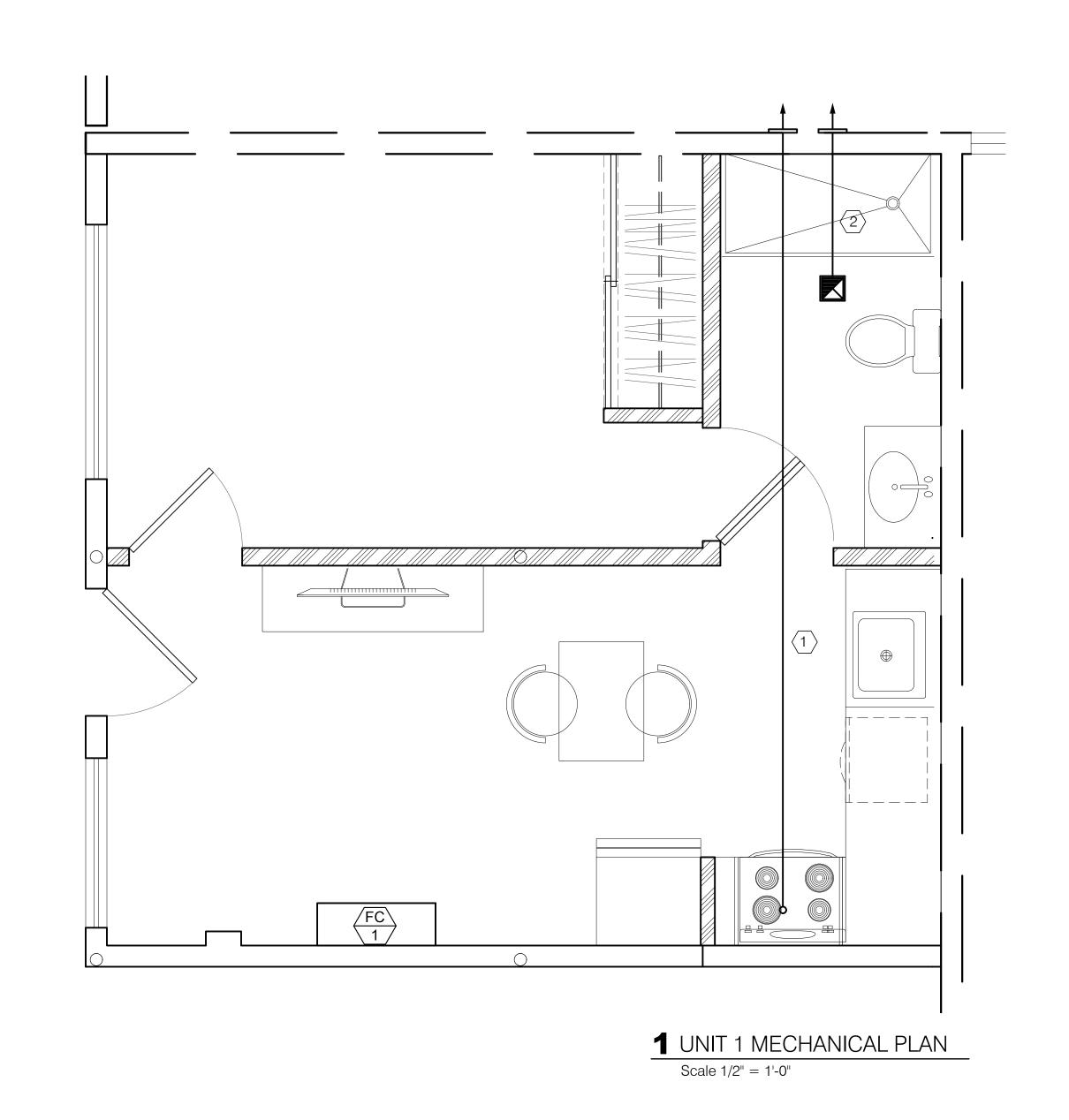
KEY NOTES:

- 1 7" HOOD EXHAUST TO EXTERIOR
- (2) 6" EXHAUST DUCT



2 UNIT 2 MECHANICAL PLAN

Scale 1/2" = 1'-0"



SUBMITTAL:

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APRIL 2021

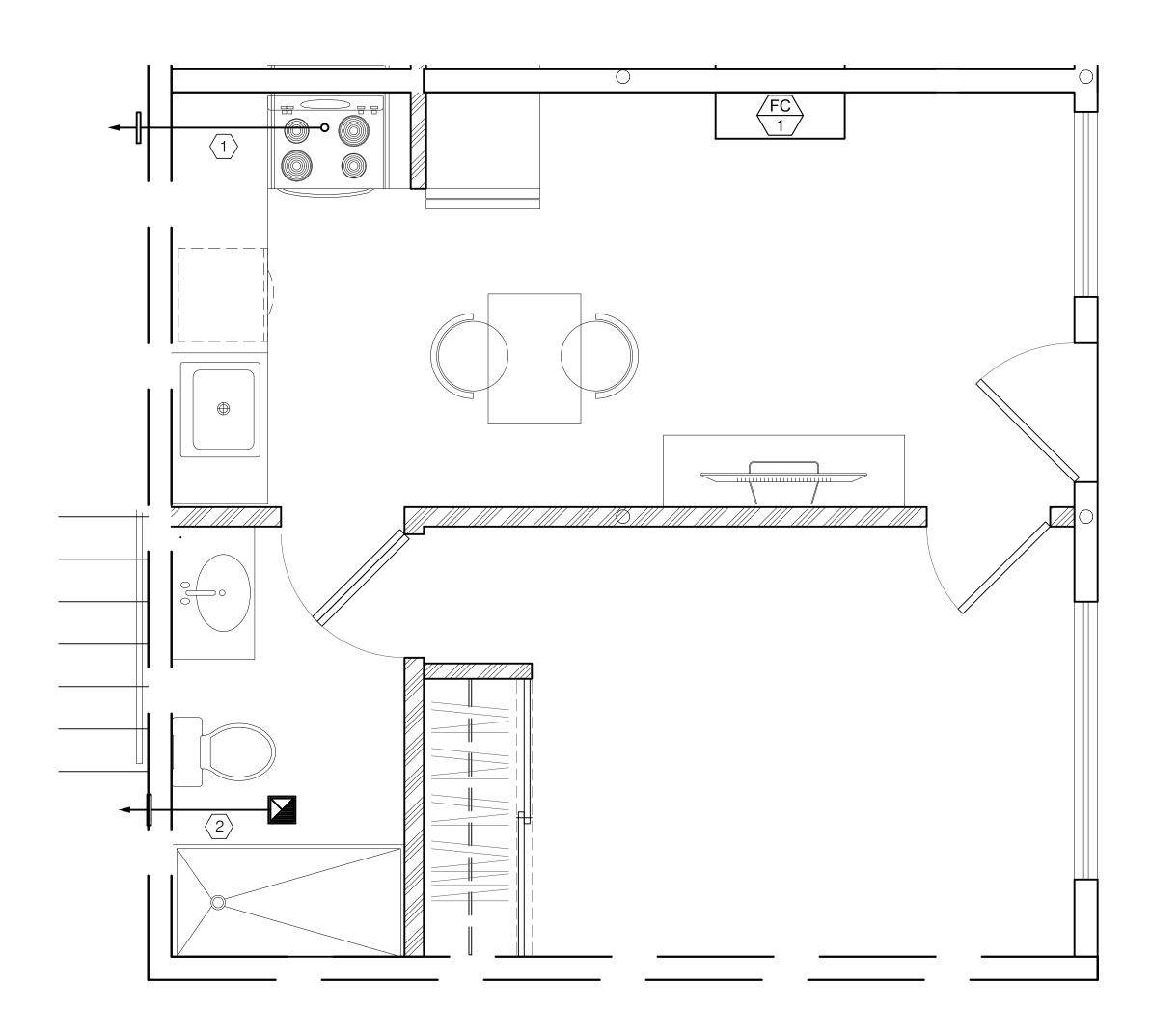
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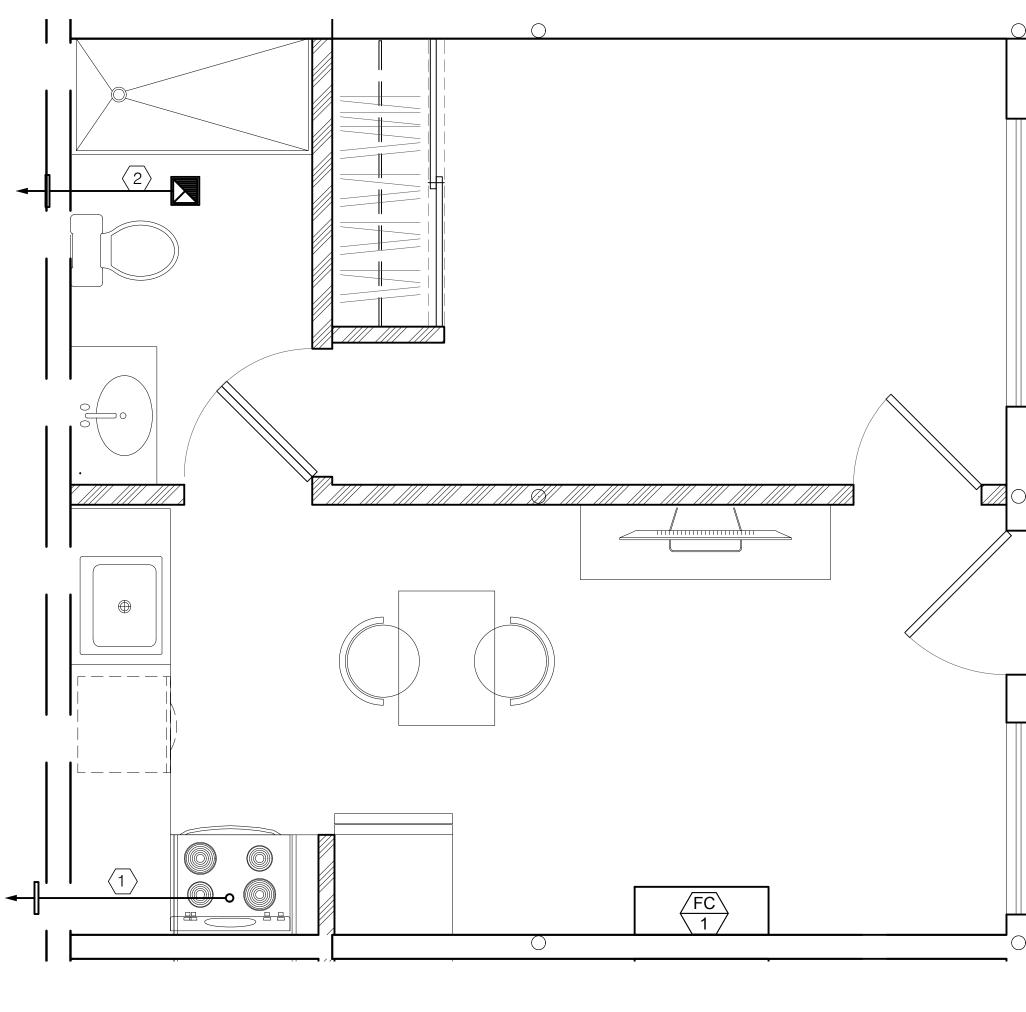
M-1

- 1 7" HOOD EXHAUST TO EXTERIOR
- 2 6" EXHAUST DUCT



2 UNIT 4 MECHANICAL PLAN

Scale 1/2" = 1'-0"



1 UNIT 3 MECHANICAL PLAN
Scale 1/2" = 1'-0"

SCALE: AS NOTED

SHEET NUMBER:

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PLAN CHECK SUBMITTAL APRIL 2021

PLAN CHECK SUBMITTAL APRIL 2021

SCALE: AS NOTED

E-1

SHEET NUMBER:

NOTES: 1. SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS IN EACH UNIT SHALL BE INTERCONNECTED TO SOUND AT THE SAME TIME.

PROVIDE 1/2"C -3#14 CU THWN BETWEEN SMOKE DETECTORS. 2. RECEPTACLES TO SERVE COUNTERTOP SURFACE IN KITCHEN AND BATHROOM SHALL BE GFI TYPE. DISHWASHER RECEPTACLES TO BE

MOUNTING:

RECESSED

LOCATION

DISHWASHER

SMALL APPLIANCE

FC-1

NOTES:

GARBARGE DISPOSAL

3. THE LIGHTINGS FIXTURES IN THE CLOSETS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 410-8 OF THE NEC.

4. VERIFY TELEPHONE AND TV OUTLET LOCATION PRIOR TO ROUGH-IN.

5. REFER TO MECHANICAL AND ARCHITECTURAL DRAWING FOR EXACT EQUIPMENT LOCATION.

	LIGHTING FIXTURE SCHEDULE										
TYPE	SYMBOL	DESCRIPTION	MANUFACTURER & MODEL	LAMPS	VOLTAGE						
A1	0	4" RECESSED LED	COMMERCIAL ELECTRIC 91740	9 WATT	120V						

PANEL - A

VOLT - AMPS PER LINE A 6120 B 4940

TOTAL VOLT - AMPS = 11060

120 \ 240 VOLTS 1 PHASE 3 WIRE

AMPS = 46.08 LCL = 0

I. PROVIDE ARC FAULT PROTECTION TYPE CIRCUIT BREAKER AND SEPARATE NEUTRAL WIRE

MAIN

BUS

100 AMPS

LOCATION

LIGHTS

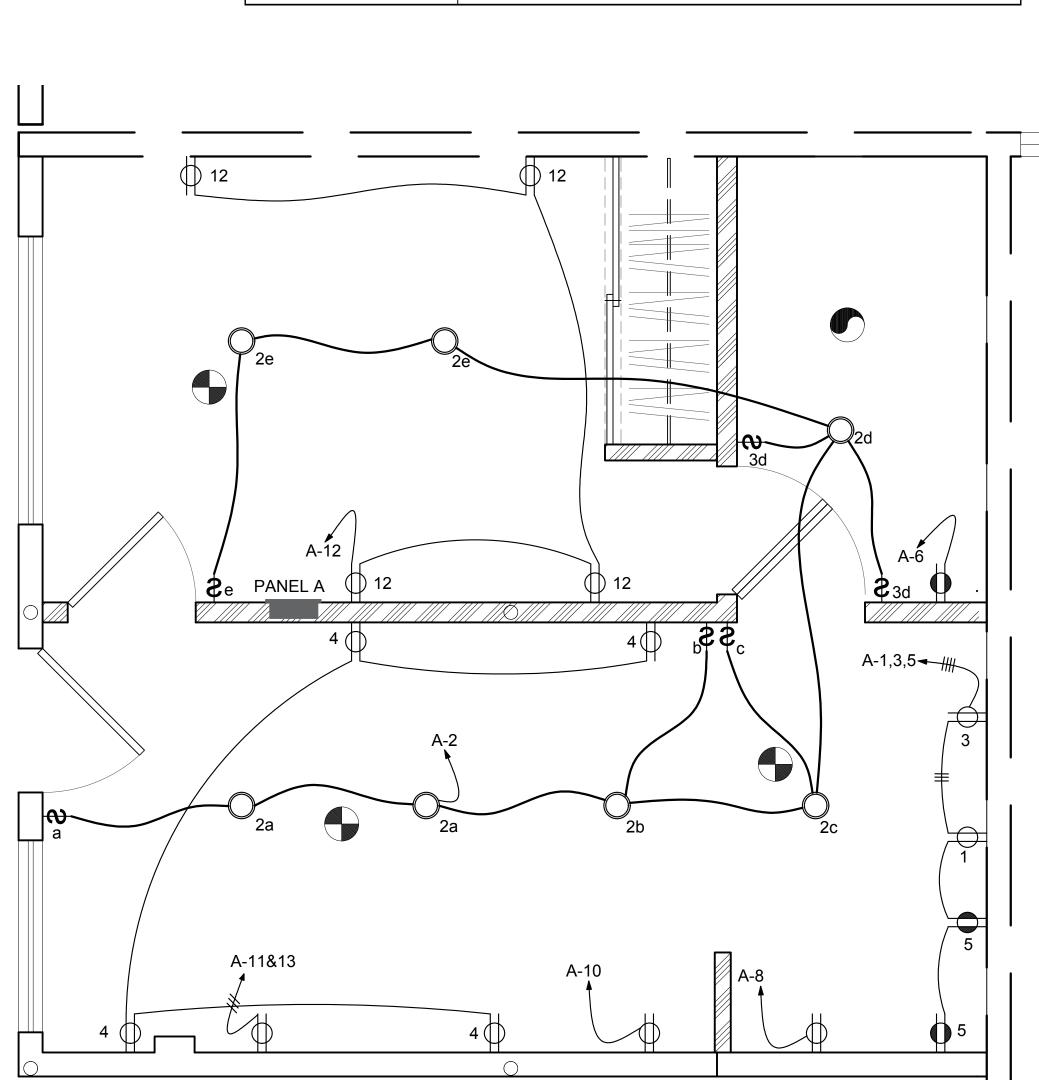
LIVING ROOM

BATHROOM

MICROWAVE/HOOD

REFRIGERATOR

BEDROOM



2e 2e 2d 3d
A-12 Re PANEL A 12 A-6 A-7 A-7 A-6 A-7
A-2 2a 2b 2c
A-11&13 4 A-10 A-8



PANEL - B

VOLT - AMPS PER LINE A 6120 B 4940

TOTAL VOLT - AMPS = 11060

120 \ 240 VOLTS 1 PHASE 3 WIRE

C B M R L VOLTAMPS

AMPS = 46.08 LCL = 0

2 UNIT 2 ELECTRICAL POWER AND LIGHTING PLAN

Scale 1/2" = 1'-0"

1. PROVIDE ARC FAULT PROTECTION TYPE CIRCUIT BREAKER AND SEPARATE NEUTRAL WIRE

100 AMPS

LOCATION

LIGHTS

LIVING ROOM

BATHROOM

MICROWAVE/HOOD

REFRIGERATOR

BEDROOM

MOUNTING:

RECESSED

LOCATION

DISHWASHER

GARBARGE DISPOSAL SMALL APPLIANCE

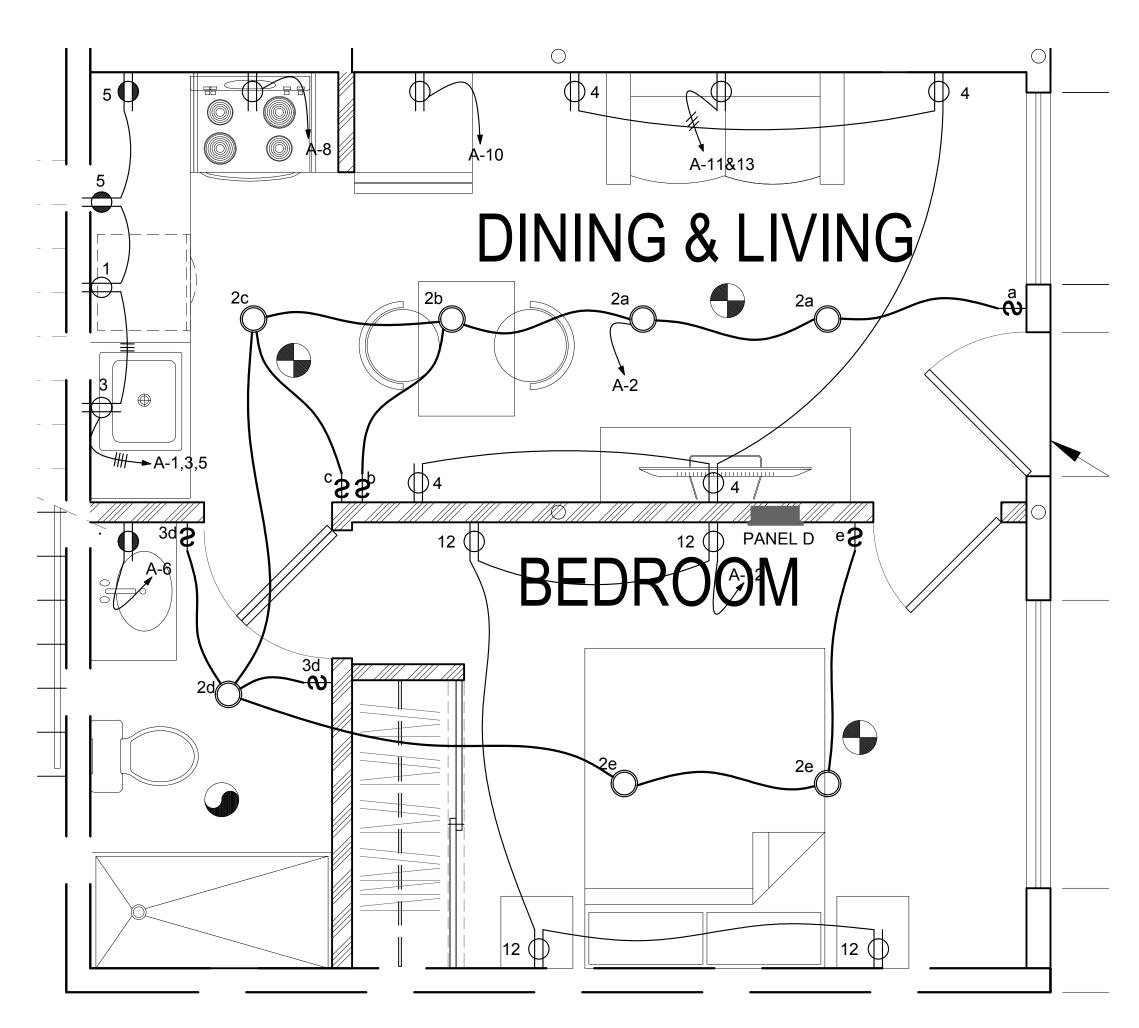
FC-1

NOTES:

→A-1,3,5

1 UNIT 1 ELECTRICAL POWER AND LIGHTING PLAN Scale 1/2" = 1'-0"

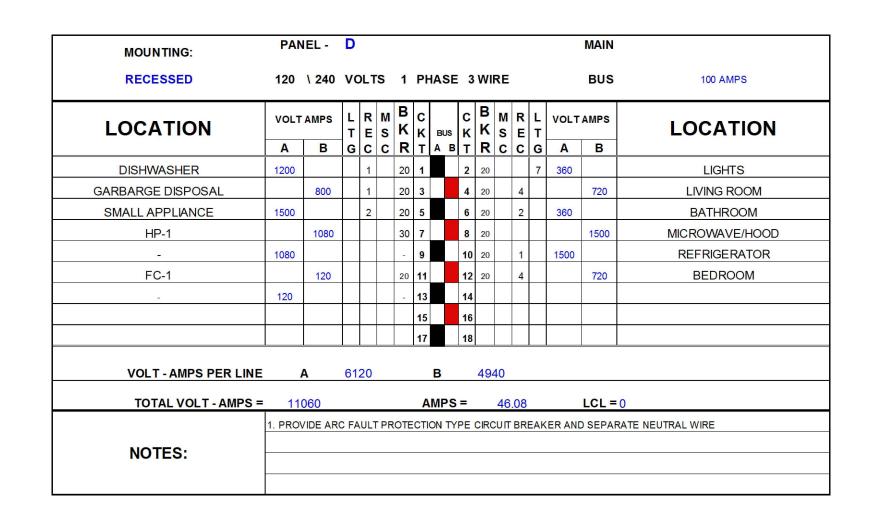
MOUNTING:	PAN	IEL -	C												MAIN	
RECESSED	120	\ 240	VC	LT	S	1	PH	IASI	≣ 3	WI	RE				BUS	100 AMPS
LOCATION	VOLT	AMPS		R E		B K	c K	BUS	C K	B K	M S	R E	L	VOLT	AMPS	LOCATION
	Α	В	G	С	С	R	T	A E	T	R	С	С	G	Α	В	
DISHWASHER	1200			1		20	1		2	20			7	360		LIGHTS
GARBARGE DISPOSAL		800		1		20	3		4	20		4			720	LIVING ROOM
SMALL APPLIANCE	1500			2		20	5		6	20		2		360		BATHROOM
HP-1		1080				30	7		8	20					1500	MICROWAVE/HOOD
-	1080					-	9		10	20		1		1500		REFRIGERATOR
FC-1		120				20	11		12	20		4			720	BEDROOM
-	120					-	13		14							
							15		16							
							17		18							
VOLT - AMPS PER LINE		A	61:	20				В		49	40					
TOTAL VOLT - AMPS =	11	060					Α	MPS	S =		46	.08			LCL =	0
	1. PRO\	/IDE ARG	C FA	ULT	PR	OTE	CTI	ON T	/PE	CIRC	UIT	BR	EAK	ER ANI	SEPAR	RATE NEUTRAL WIRE
NOTES:																

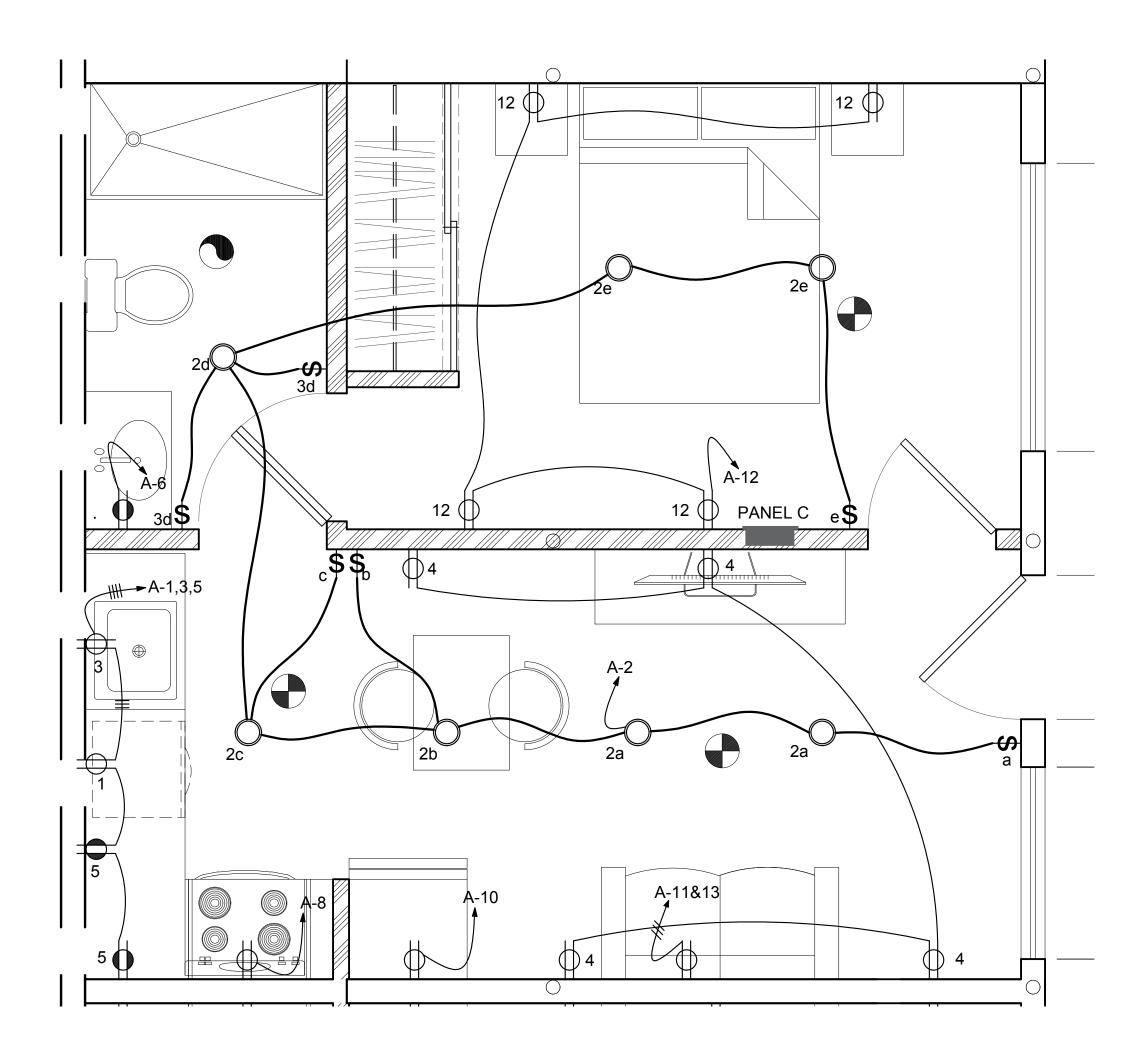


2 UNIT 4 ELECTRICAL POWER AND LIGHTING PLAN
Scale 1/2" = 1'-0"

NOTES:

- 1. SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS IN EACH UNIT SHALL BE INTERCONNECTED TO SOUND AT THE SAME TIME. PROVIDE 1/2"C -3#14 CU THWN BETWEEN SMOKE DETECTORS.
- 2. RECEPTACLES TO SERVE COUNTERTOP SURFACE IN KITCHEN AND BATHROOM SHALL BE GFI TYPE. DISHWASHER RECEPTACLES TO BE
- 3. THE LIGHTINGS FIXTURES IN THE CLOSETS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 410-8 OF THE NEC.
- 4. VERIFY TELEPHONE AND TV OUTLET LOCATION PRIOR TO ROUGH-IN.
- 5. REFER TO MECHANICAL AND ARCHITECTURAL DRAWING FOR EXACT EQUIPMENT LOCATION.





1 UNIT 3 ELECTRICAL POWER AND LIGHTING PLAN
Scale 1/2" = 1'-0"

SUBMITTAL:

PLAN CHECK SUBMITTAL

APRIL 2021

REVISIONS:

scale: AS NOTED

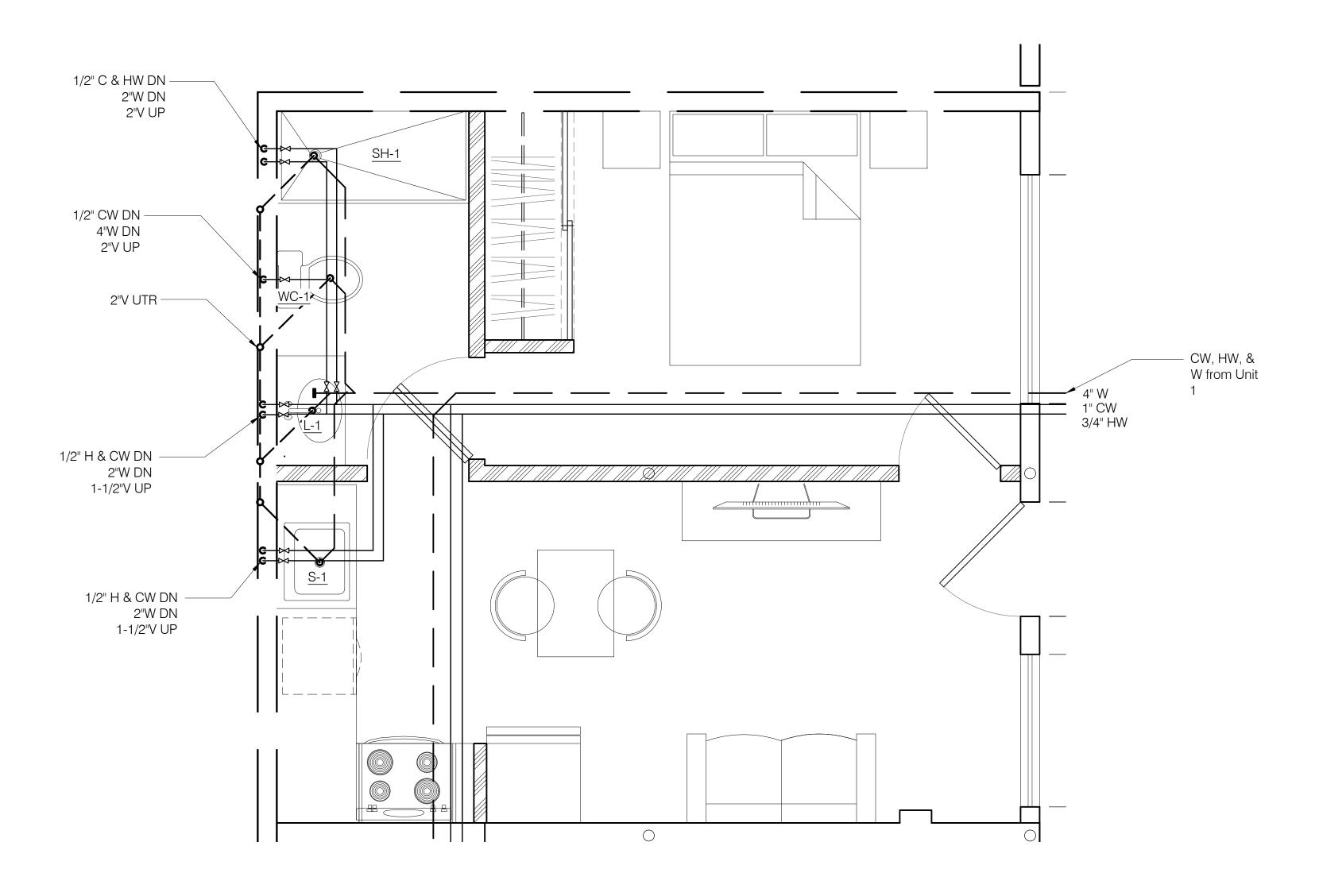
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E-2

LEGEND AND ABBREVIATION

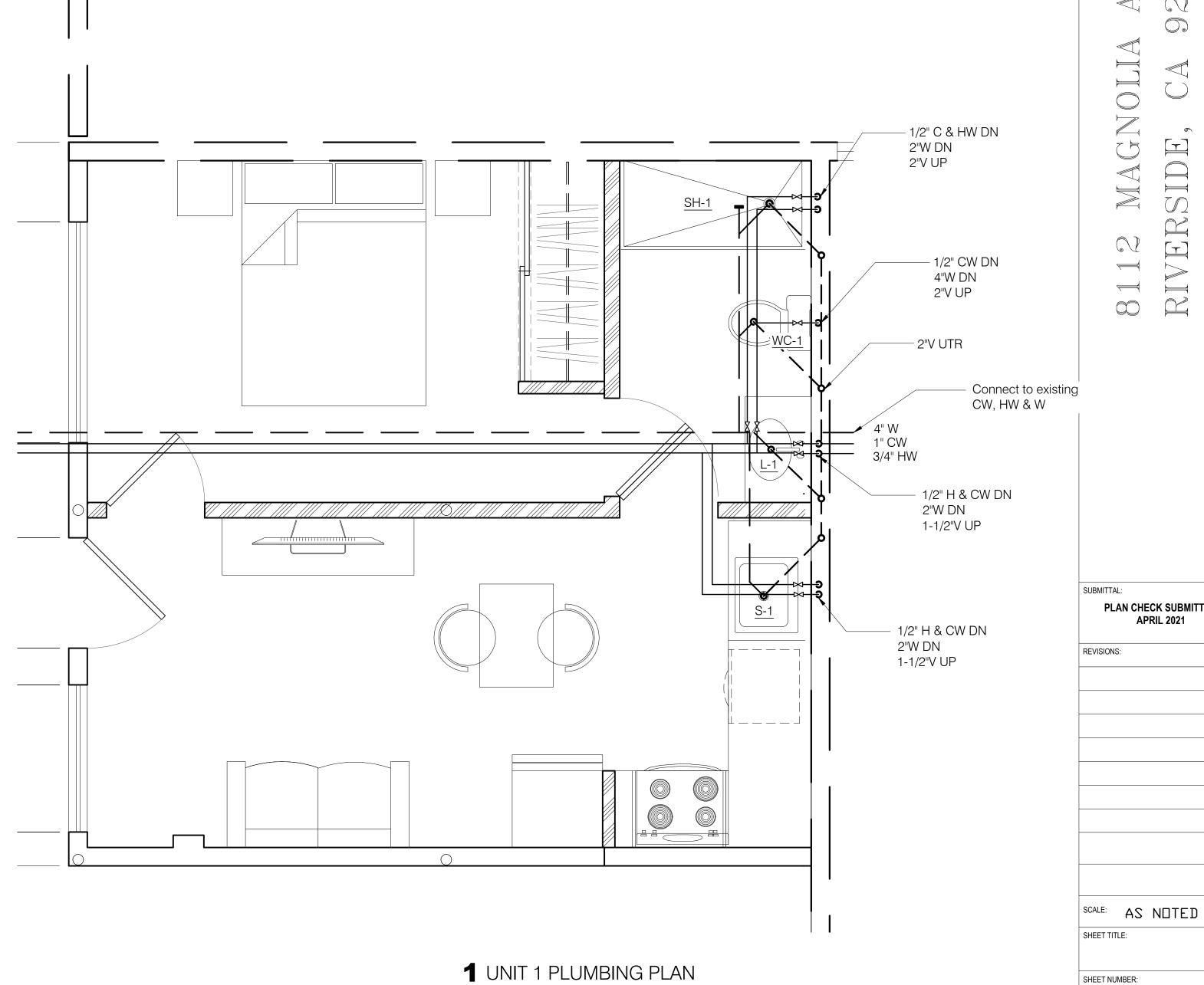
0)/4/00/	4 DDDE\	DESCEIPTION
SYMBOL	ABBREVIATION	DESCRIFTION
	<u> </u>	WASTE BELOW FLOOR
	v	VENT
	— CW	COLD WATER
	— н w	HOT WATER
	<u> </u>	NATURAL GAS
	— sov	SHUT-OFF VALVE
	⊣ı ∞	CLEANOUT
	—ф FCO	FLOOR CLEANOUT
	-G-II WCO	WALL CLEANOUT
	- •	PIPING ELBOW UP
	— ə	PIPING ELBOW DOWN
		CAP
		POINT OF CONNECTION
$oldsymbol{\Theta}$	P.O.D.	POINT OF DEMOLITION/REMOVAL

	PLUMBING FIXTURE SCHEDULE										
NO.	DESCRIPTION	W	V	Т	CW	HW	REMARKS				
<u>WC-1</u>	WATER CLOSET	4"	2"	INT	1/2"	-	FLOOR MOUNTED, FLUSH TANK, 1.28 GPF				
<u>L-1</u>	LAVATORY	2"	1-1/2"	1-1/2"	1/2"	1/2"	COUNTER TOP, 0.35 GPM				
<u>S-1</u>	SINK	2"	1-1/2"	1-1/2"	1/2"	1/2"	COUNTER TOP, 1.5 GPM				
<u>SH-1</u>	SHOWER	2"	2"	2"	1/2"	1/2"	PROVIDE SHOWER VALVE WITH SINGLE LEVER PRESSURE BALANCED VALVE, INTEGRAL STOPS, TEMPERATURE LIMIT STOPS, 2.5 GPM FLOW				



2 UNIT 2 PLUMBING PLAN

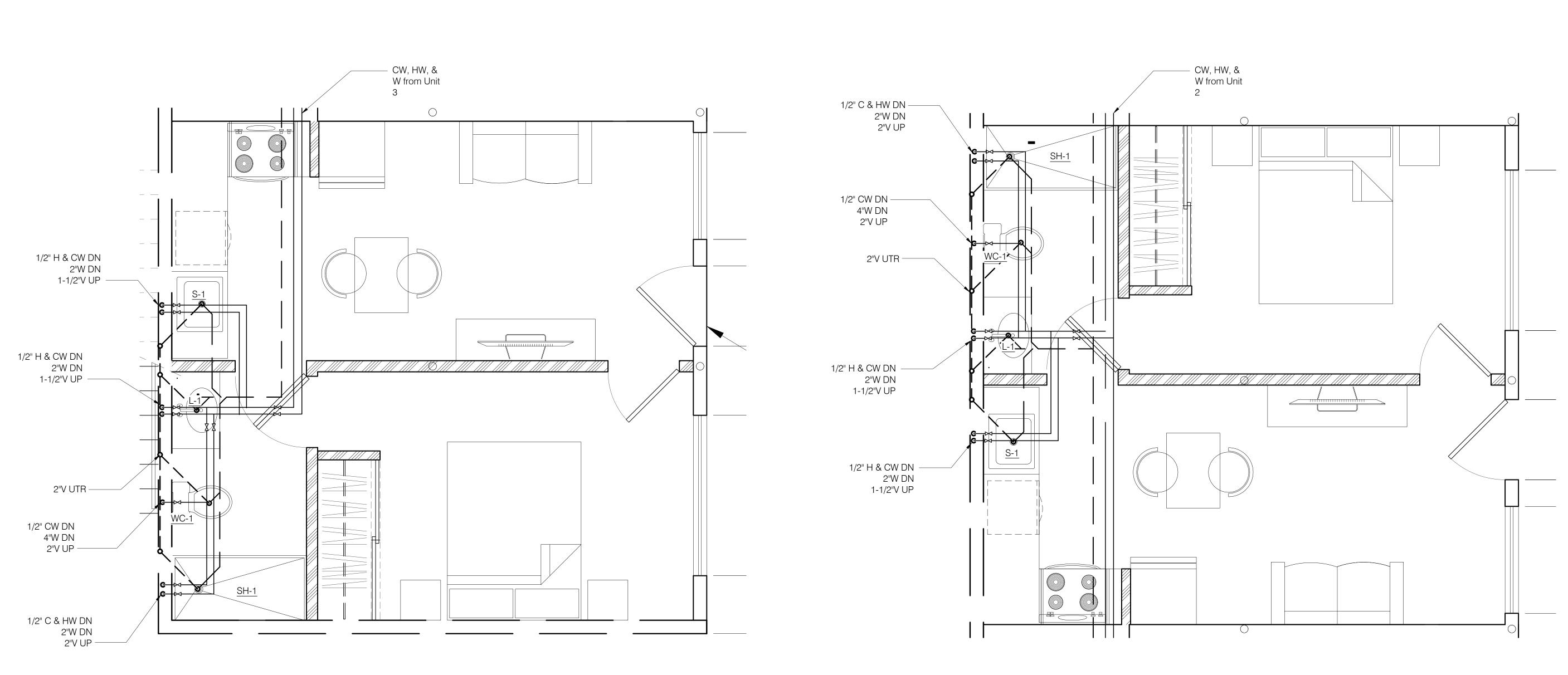
Scale 1/2" = 1'-0"



Scale 1/2" = 1'-0"

PLAN CHECK SUBMITTAL APRIL 2021

P-1



2 UNIT 4 PLUMBING PLAN
Scale 1/2" = 1'-0"

1 UNIT 3 PLUMBING PLAN
Scale 1/2" = 1'-0"

SCALE: AS NOTED

SHEET TITLE:

SHEET NUMBER:

T) 6

PLAN CHECK SUBMITTAL APRIL 2021